

1 SITE PLAN
SCALE: 3/32" = 1'-0"

HATCH INDICATES IMPERVIOUS AREAS

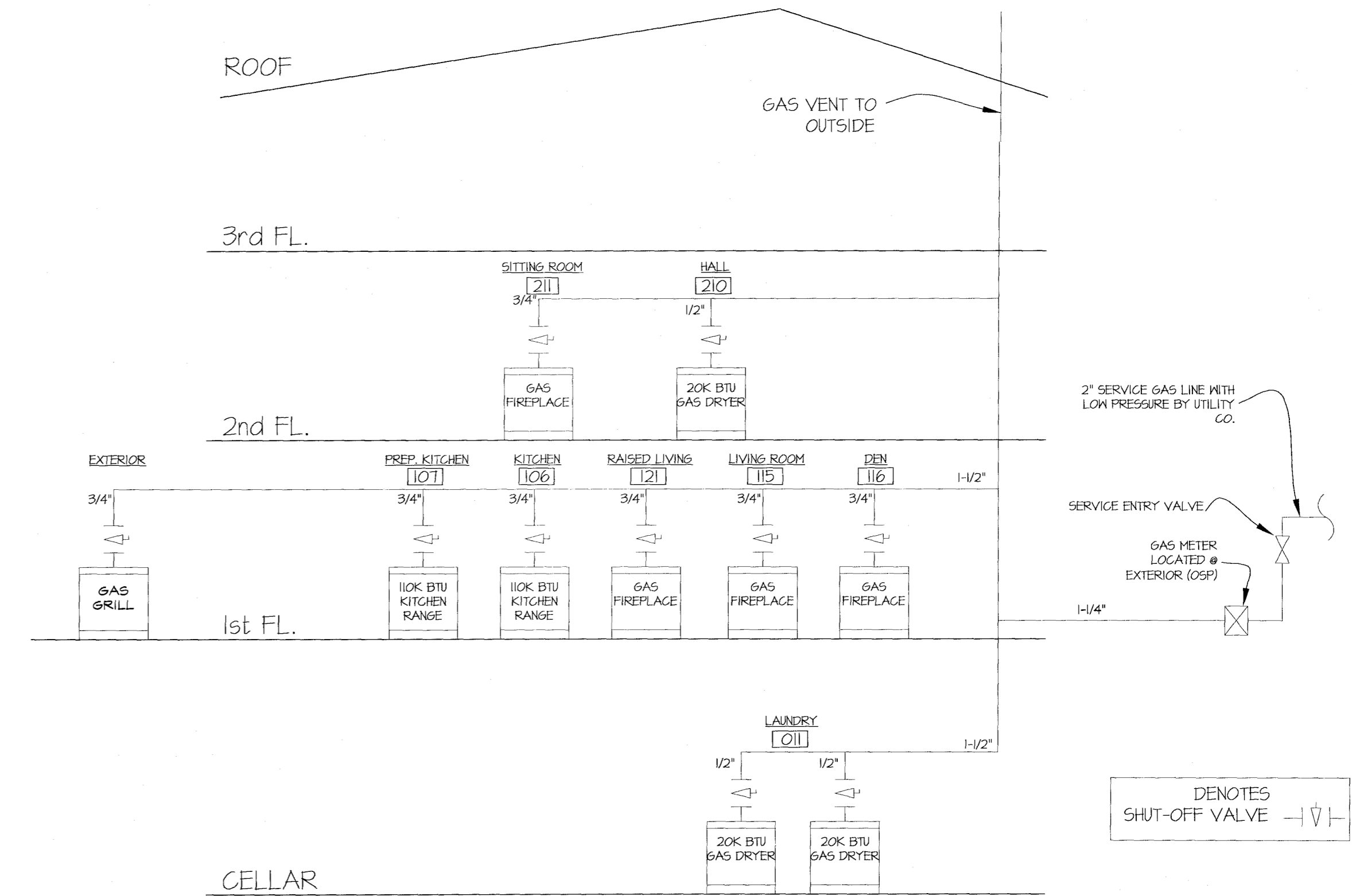
BUILDING & SITE COVERAGES
DWELLING = 4,221.0 SF
FRONT COVERED PORCHES = 348.0 SF
REAR COVERED PATIO = 391.0 SF
REAR COVERED RAISED PATIO = 632.0 SF (PRINCIPAL BUILDING = 5,606.0 SF)
FRONT OPEN PORCH/STEPS = 291.0 SF
RAMP = 252.0 SF
FRONT WALL/STEPS = 376.0 SF
DRIVEWAY (EAST) = 400.0 SF
DRIVEWAY (WEST) = 368.0 SF
LEFT SIDE LANDINGS/STEPS/WALK = 156.0 SF
RIGHT SIDE STEPS/WALL = 471.0 SF
REAR WALL/STEPS = 481.0 SF
IN-GROUND POOL = 150.0 SF
POOL PATIO = 1,550.0 SF
POOL HOUSE = 660.0 SF
REAR WALK = 65.0 SF
EXERCISE AREA = 560.0 SF
BASKETBALL COURT = 1,380.0 SF
UTILITY EQUIPMENT PAD = 100.0 SF
TOTAL = 13,098.0 SF

LOT COVERAGE:
LOT 125'-0" X 270'-0" = 33,750.0 SF
33,750.0 SF X 40% = 13,500.0 SF ALLOWED
PROPOSED 13,098.0 SF SF = OK

RECEIVED
MAY 19 2021
LETTER OF DEED

ZONING DATA	R-2 DISTRICT			
	REQUIRED	PROPOSED	VARIANCE REQUIRED	NOTES
MINIMUM LOT AREA	10,750.00 SF	33,750.00 SF	NO	
LOT WIDTH (FRONTAGE)	150'-0"	125'-0"	NO	
LOT DEPTH	125'-0"	270'-0"	NO	
FRONT YARD SETBACK	50'-0"	64'-0"	NO	
SIDE YARD SETBACK (20%)	25'-0"	25'-2"	YES	VARIANCE FOR SIDE PORCH
SIDE YARD SETBACK (20%)	25'-0"	25'-2"	YES	VARIANCE FOR STAIRS TO BASEMENT
REAR YARD SETBACK (20% OR 50'-0")	50'-0"	109'-0"	NO	
BUILDING HEIGHT (PRINCIPAL)	42'-0"	41'-11 1/4"	NO	
BUILDING COVERAGE (PRINCIPAL 20%)	6,750 SF	5,606.0 SF (16.6%)	NO	
SURFACE COVERAGE (40%)	13,500 SF	13,098.0 SF (38.8%)	NO	
ACCESSORY BUILDING (POOLHOUSE)				
SIDE YARD	10'-0"	16'-2 3/4"	NO	
REAR YARD	10'-0"	65'-0"	NO	
BUILDING HEIGHT (ACCESSORY)	18'-0"	17'-4"	NO	
BUILDING COVERAGE (35%)	11,812.5 SF	660.0 SF	NO	
ACCESSORY BUILDING (EXERCISE AREA)				
SIDE YARD	10'-0"	10'-2"	NO	
REAR YARD	10'-0"	17'-4 3/4"	NO	
BUILDING HEIGHT (ACCESSORY)	18'-0"	17'-4"	NO	
BUILDING COVERAGE (35%)	11,812.5 SF	560.0 SF	NO	
SWIMMING POOL				
SIDE YARD	30'-0"	31'-0"	NO	
REAR YARD	30'-0"	59'-8 1/4"	NO	

DATE
06/24/2020
06/24/2021

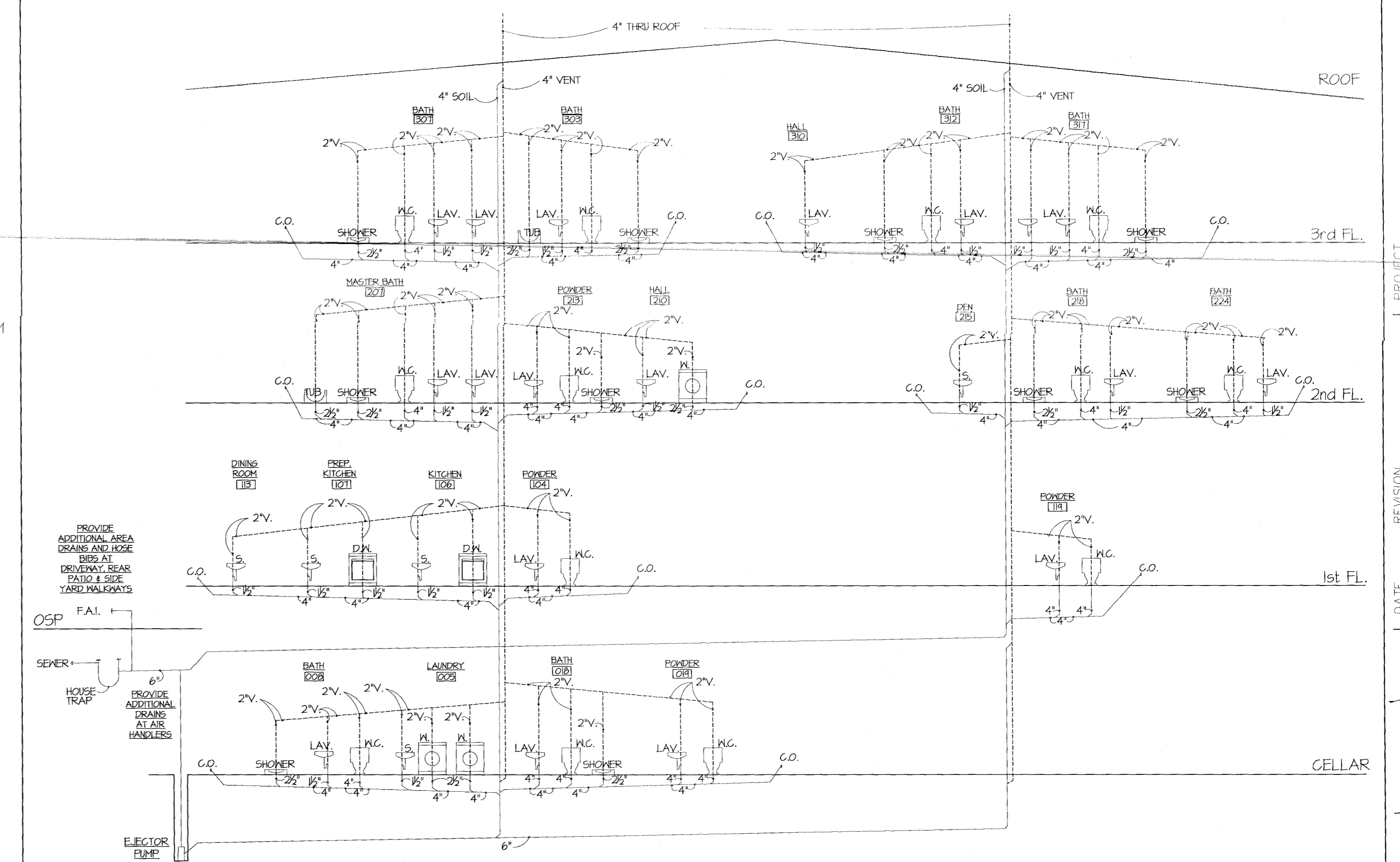


GAS PIPING INSTALLATION NOTES

1. ALL PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH 125LB. CAST IRON SCREENED FITTINGS.
2. PROVIDE SHUT-OFF GAS COCKS IN GAS SERVICE PIPING AT CONNECTIONS TO EXISTING MAIN.
3. ALL GAS PIPING SHALL BE SUPPORTED FROM BUILDING STRUCTURE IN AN APPROVED MANNER.
4. PROVIDE GAS COCK CONNECTION TO GAS TRAIN FOR EACH GAS-FIRED EQUIPMENT ITEM AND ON RISERS AND BRANCHES WHERE INDICATED.
5. LOCATE GAS COCKS WHERE EASILY ACCESSIBLE, AND WHERE THEY WILL BE PROTECTED FROM POSSIBLE DAMAGE.
6. CONNECT GAS PIPING TO EACH GAS-FIRED EQUIPMENT ITEM IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SYMBOLS	LEGEND	ABBREVIATIONS
ELEVATION REFERENCE (VERTICAL)	location of point if not in center	A.C. = AIR CONDITIONING
ELEVATION REFERENCE (EXTERIOR)	elevation number drawing number	A.D. = AREA DRAIN
SECTION REFERENCE	section number drawing number	ADJ. = ADJUSTABLE
DETAIL REFERENCE	detail number drawing number	A.F. = ABOVE FINISH
ELEVATION REFERENCE (INTERIOR)	direction of view and number of elevation drawing number	A.F.F. = ABOVE FINISH FLOOR
REVISION REFERENCE	revision number, see title block	ALUM. = ALUMINUM
ROOM IDENTIFICATION	room name 2 = floor number 01 = room number see finish plan	BD. = BOARD
DOOR SYMBOL	door number see schedule	BLDG. = BUILDING
WINDOW SYMBOL	window number see schedule	CAB. = CABINETS
DIMENSION NOT TO SCALE		C.H. = CEILING HEIGHT
GRAPHIC SCALE		C.L. = CENTER LINE
SD/CO2	DENOTES SMOKE DETECTOR/CARBON MONOXIDE	CLO. = CLOSET
50 CFM	50 CFM Mechanical Ventilation	C.M.U. = CONCRETE MASONRY UNIT
T	Thermostat	C.O. = CLEAN OUT
S	SPRINKLER HEAD	COL. = COLUMN
A.D. F.D.	FLOOR DRAIN OR AREA DRAIN	CONG. = CONCRETE
		CONT. = CONTINUOUS
		CPT. = CARPET
		C.T. = CERAMIC TILE
		D. = DRYER
		DET. = DETAIL
		DIA. = DIAMETER
		DIM. = DIMENSION
		DN. = DOWN
		DR. = DOOR
		D.W. = DISHWASHER
		DWG. = DRAWING
		EL. = ELEVATION
		ELEC. = ELECTRICAL
		ELEV. = ELEVATOR
		EQ. = EQUAL
		EQUIP. = EQUIPMENT
		EXIST'G. = EXISTING
		EXT. = EXTERIOR
		F. = FREEZER
		F.D. = FLOOR DRAIN
		FDN. = FOUNDATION
		FDTN. = FOUNDATION
		F.F. = FINISH FLOOR
		FIN. = FINISH
		FIXT. = FIXTURE
		FL. = FLOOR
		F.P. = FIREPLACE
		FT. = FEET
		FTG. = FOOTING
		GA. = GAUGE
		GALV. = GALVANIZED
		G.C. = GENERAL CONTRACTOR
		GL. = GLASS
		G.W.B. = GYPSUM WALL BOARD
		H.C. = HANDICAPPED
		HD. = HEAD
		HD. HGT. = HEAD HEIGHT
		HGT. = HEIGHT
		H.M. = HOLLOW METAL
		I.D. = INTERIOR DIMENSION
		INFO. = INFORMATION
		INSUL. = INSULATION
		INT. = INTERIOR
		JST. = JOIST
		JO. = JOINT
		LAV. = LAVATORY
		L.B. = POUNDS
		L.C. = LINEN CLOSET
		L.C.C. = LEAD COATED COPPER
		LDR. = LEADER
		MAX. = MAXIMUM
		M.C. = MEDICINE CABINET
		MEGH. = MECHANICAL
		MIN. = MINIMUM
		M.L.D.G. = MOULDING
		M.O. = MASONRY OPENING
		MTL. = METAL
		N.I.G. = NOT IN CONTRACT
		NO. = NUMBER
		N.T.S. = NOT TO SCALE
		O.C. = ON CENTER
		O.D. = OUTSIDE DIAMETER
		O.H. = OVERHEAD
		OPNG. = OPENING
		PART. = PARTITION
		PLYD. = PLYWOOD
		P.R. = POWDER ROOM
		P.R.D. = PLUMBING RISER DIAGRAM
		PTD. = PAINTED
		PL. = PLUMBING
		P.L. = PROPERTY LINE
		R. = REFRIGERATOR
		RAD. = RADIUS
		R.C.P. = REFLECTED CEILING PLAN
		REF. = REFERENCE
		REINF. = REINFORCED
		REQ'D. = REQUIRED
		RM. = ROOM
		R.O. = ROUGH OPENING
		R.R. = ROOF RAFTER
		S. = SINK
		SCRN. = SCREEN
		S.D. = SMOKE DETECTOR
		SIM. = SIMILAR
		S.S. = STAINLESS STEEL
		STL. = STEEL
		T&G. = TONGUE & GROOVE
		T.B.D. = TO BE DETERMINED
		T.O. = TOP OF
		T.O.P. = TOP OF PLATE
		T.O.S. = TOP OF STEEL
		TYP. = TYPICAL
		U.O.N. = UNLESS OTHERWISE NOTED
		V. = VENT
		V.C.T. = VINYL COMPOSITE TILE
		VERT. = VERTICAL
		V.I.F. = VERIFY IN FIELD
		W. = WASHER
		W.C. = WATER CLOSET
		WD. = WOOD
		WIN. = WINDOW
		W.P. = WATER PROOF
		W.W.M. = WIRE WOVEN MESH

1 GAS RISER DIAGRAM
SCALE: N.T.S.

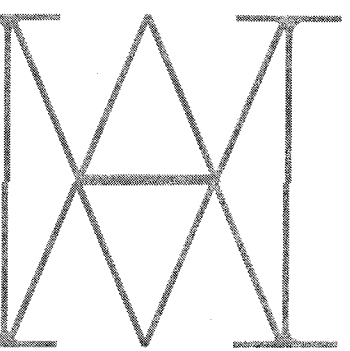


2 PLUMBING RISER DIAGRAM
SCALE: N.T.S.

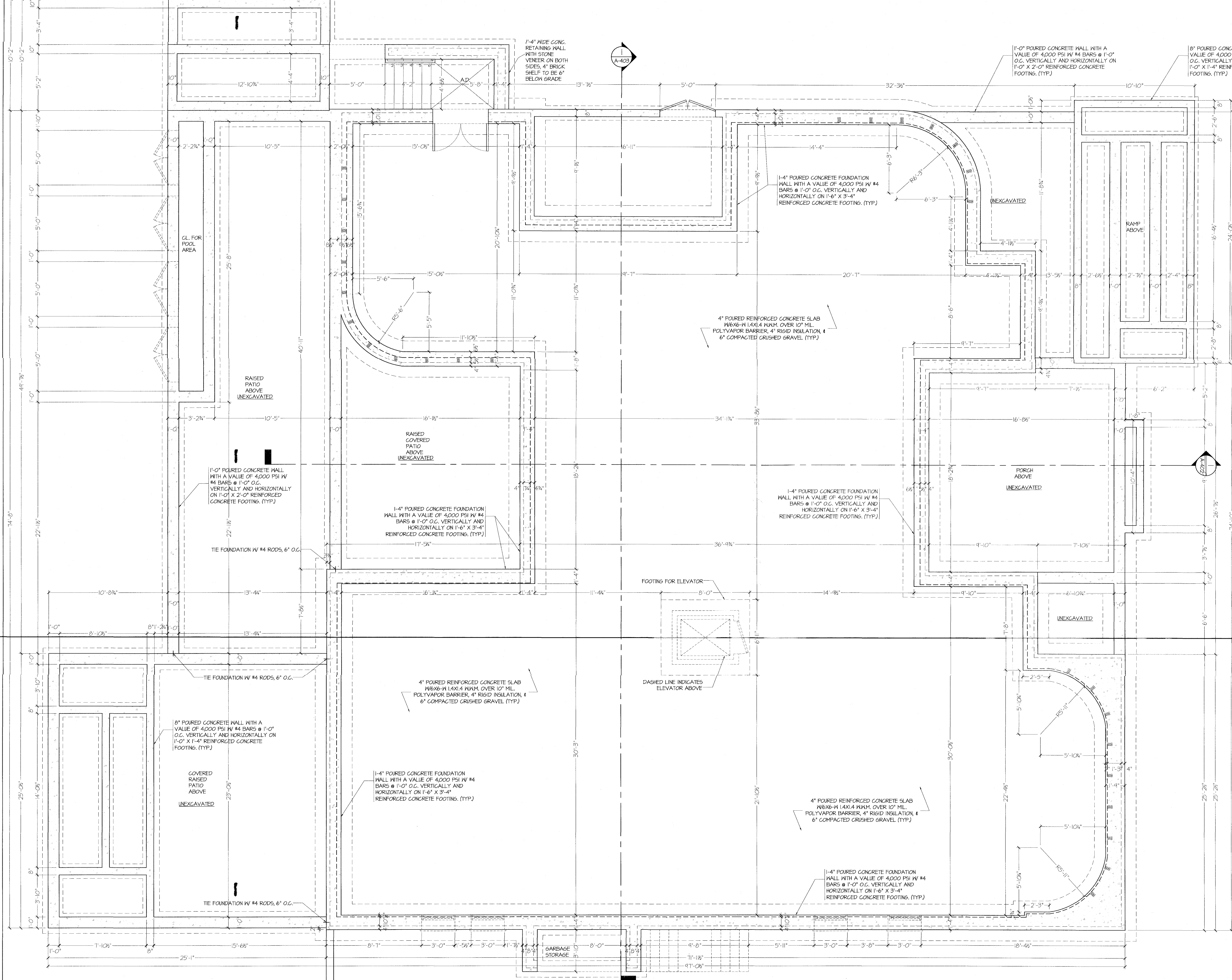
DRAWING TITLE
SITE PLAN
PLUMBING RISER DIAGRAM
GAS RISER DIAGRAM
SYMBOLS, LEGENDS & ABBREVIATIONS
SCALE
AS NOTED
DRAWN BY
M.S.

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07123

REVISION
PLANNING BOARD
PLANNING BOARD
DATE
06/20/2021
06/27/2021



**WARREN
MEISTER
ARCHITECTS**
22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

DRAWING TITLE
PROPOSED CELLAR FLOOR PLAN

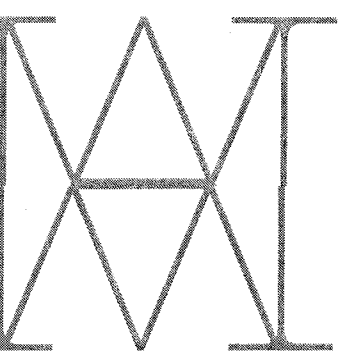
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M.S.

PROJECT
**DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07723**

DATE
06/20/2023
06/22/23

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PLANNING BOARD
PLANNING BOARD

FO-200



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MEISTER
ARCHITECTS

22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325

DRAWING TITLE
PROPOSED BASEMENT FLOOR PLAN

DRAWN BY
M.S.

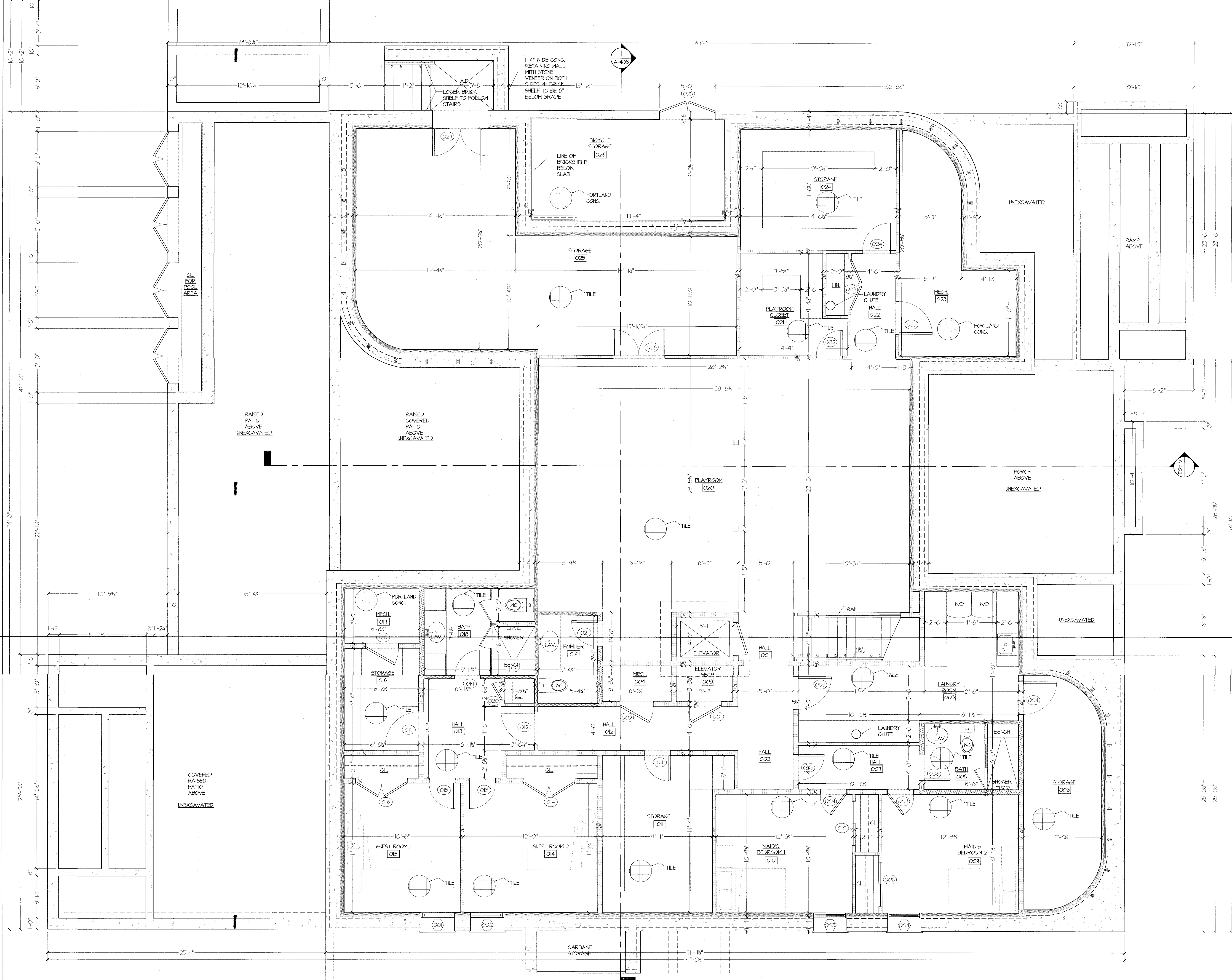
SCALE
1/4" = 1'-0"

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DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, N.J. 07123

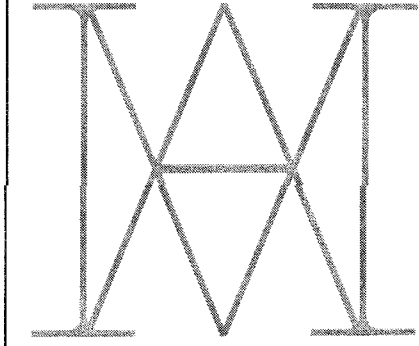
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02/20/2021
02/20/2021

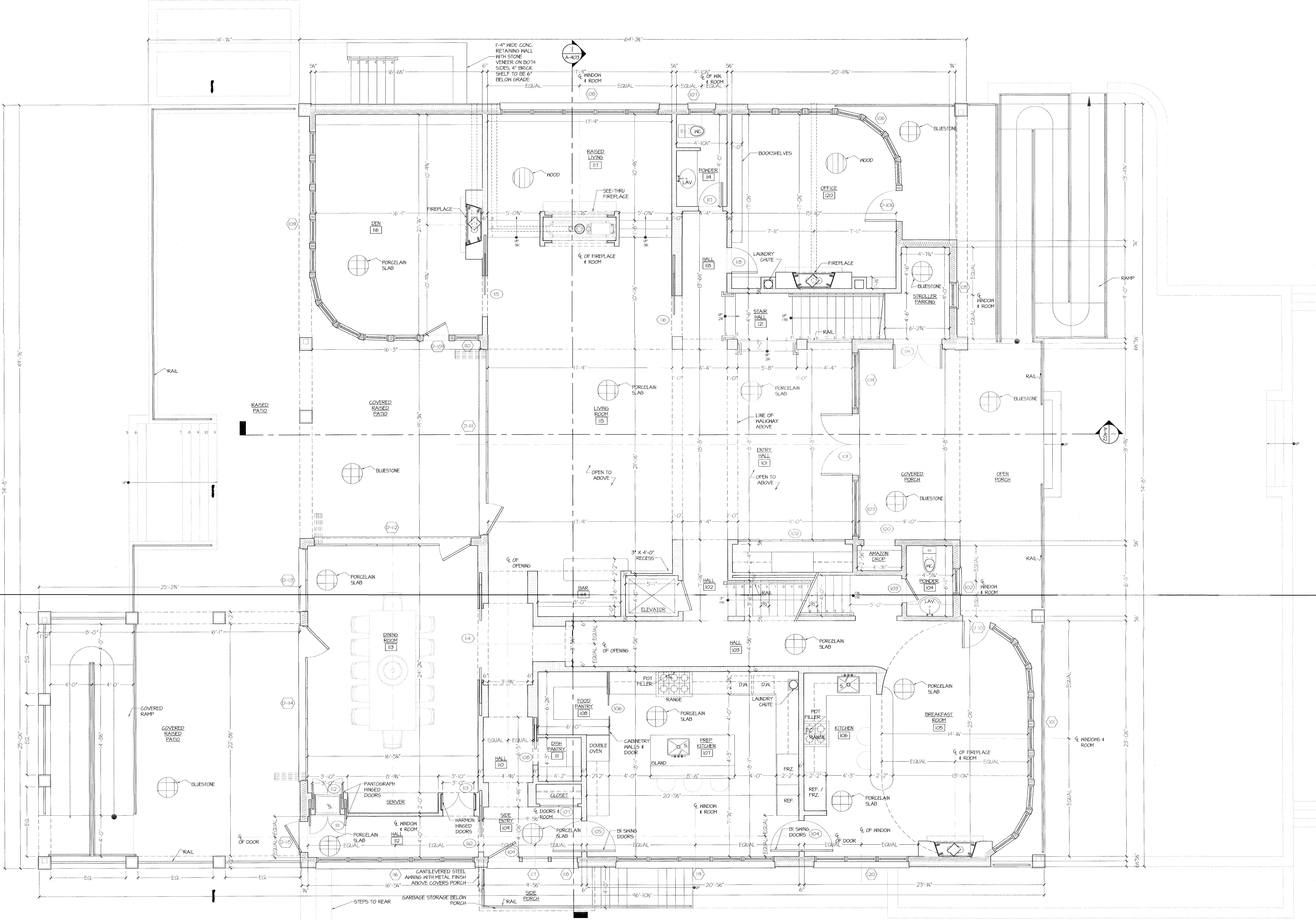
A-200



1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



WARREN
MEISTER
ARCHITECTS
22 KENDALL DRIVE
NEW CITY, NY 10956
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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRAWING TITLE
PROPOSED FIRST FLOOR PLAN

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07123

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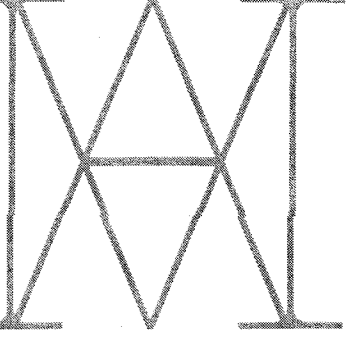
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DATE

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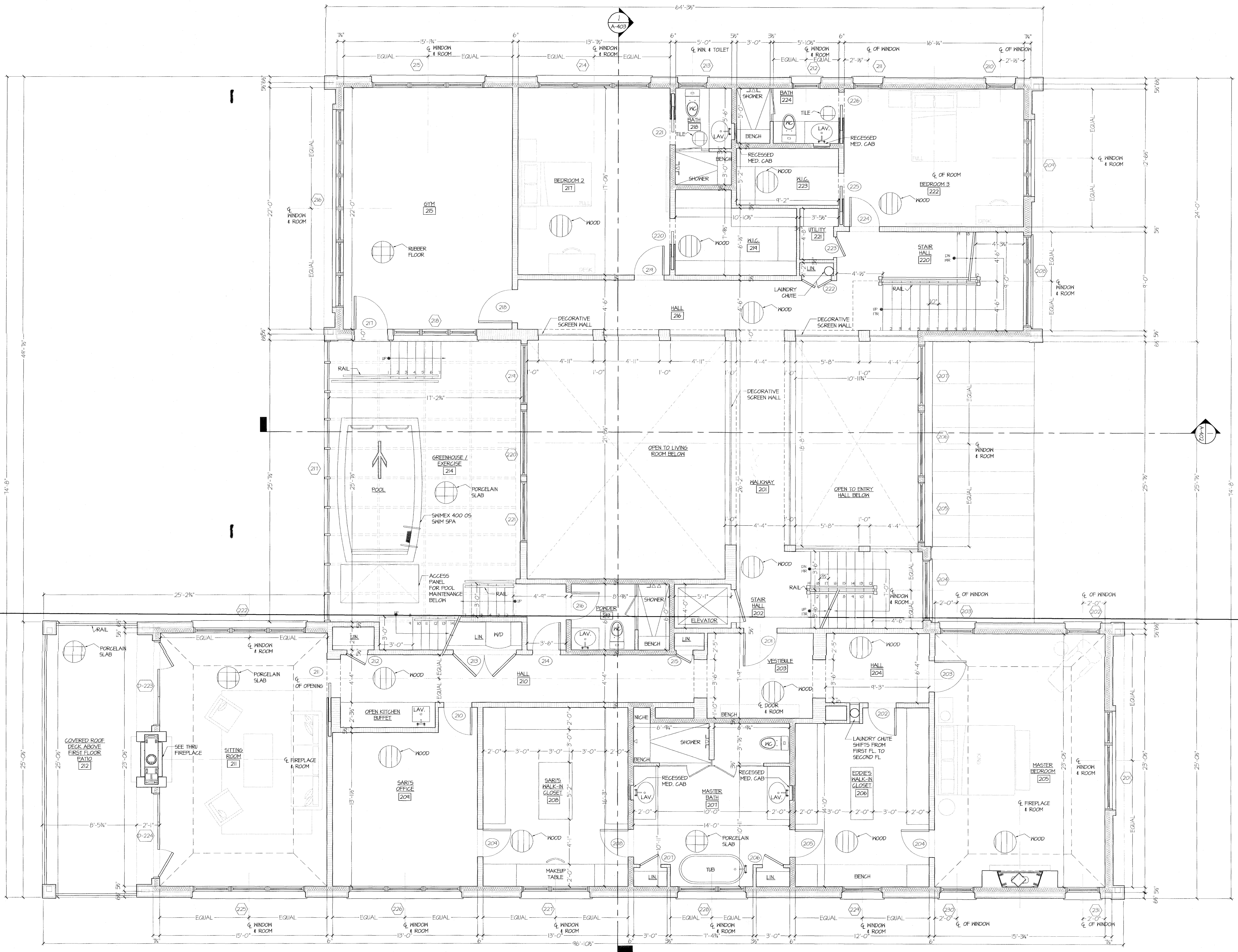
SCALE
1/4" = 1'-0"

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M.S.

A-201



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MEISTER
ARCHITECTS**
22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRAWING TITLE
PROPOSED SECOND FLOOR PLAN

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07723

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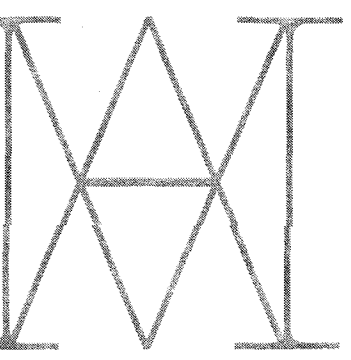
DATE
06/20/2023
06/20/2023

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A-202

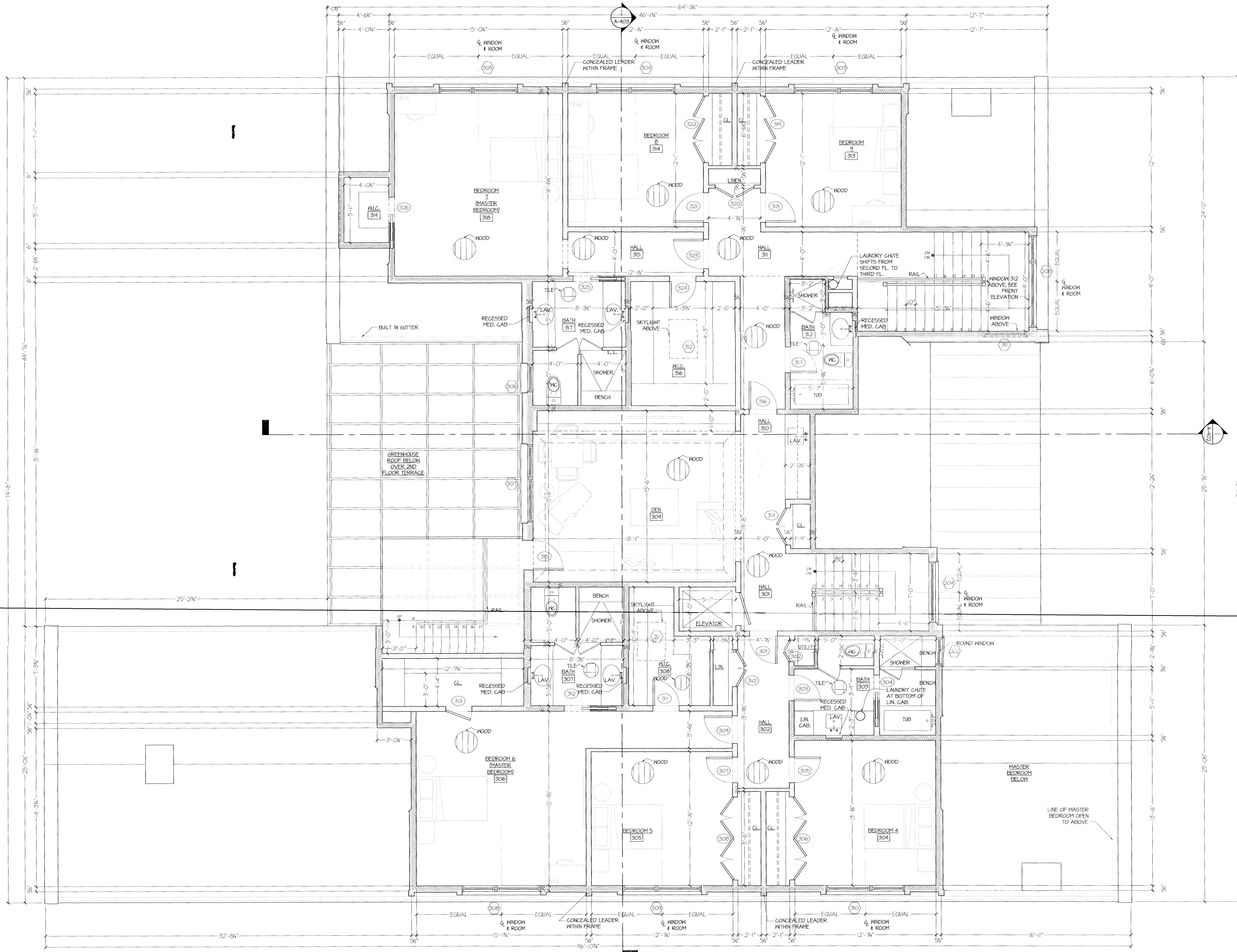
DRAWN BY
M.S.

SCALE
1/4" = 1'-0"



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MEISTER
ARCHITECTS**

22 RENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325



DRAWING TITLE
PROPOSED ATTIC PLAN

DRAWN BY
M.S.

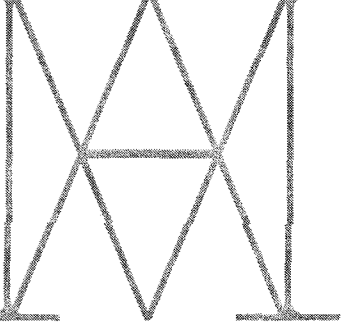
SCALE
1/4" = 1'-0"

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07123

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PLANNING BOARD
PLANNING BOARD

DATE
06/20/2020
06/22/2021

1 PROPOSED ATTIC PLAN
SCALE: 1/4" = 1'-0"



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MEISTER
ARCHITECTS
22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
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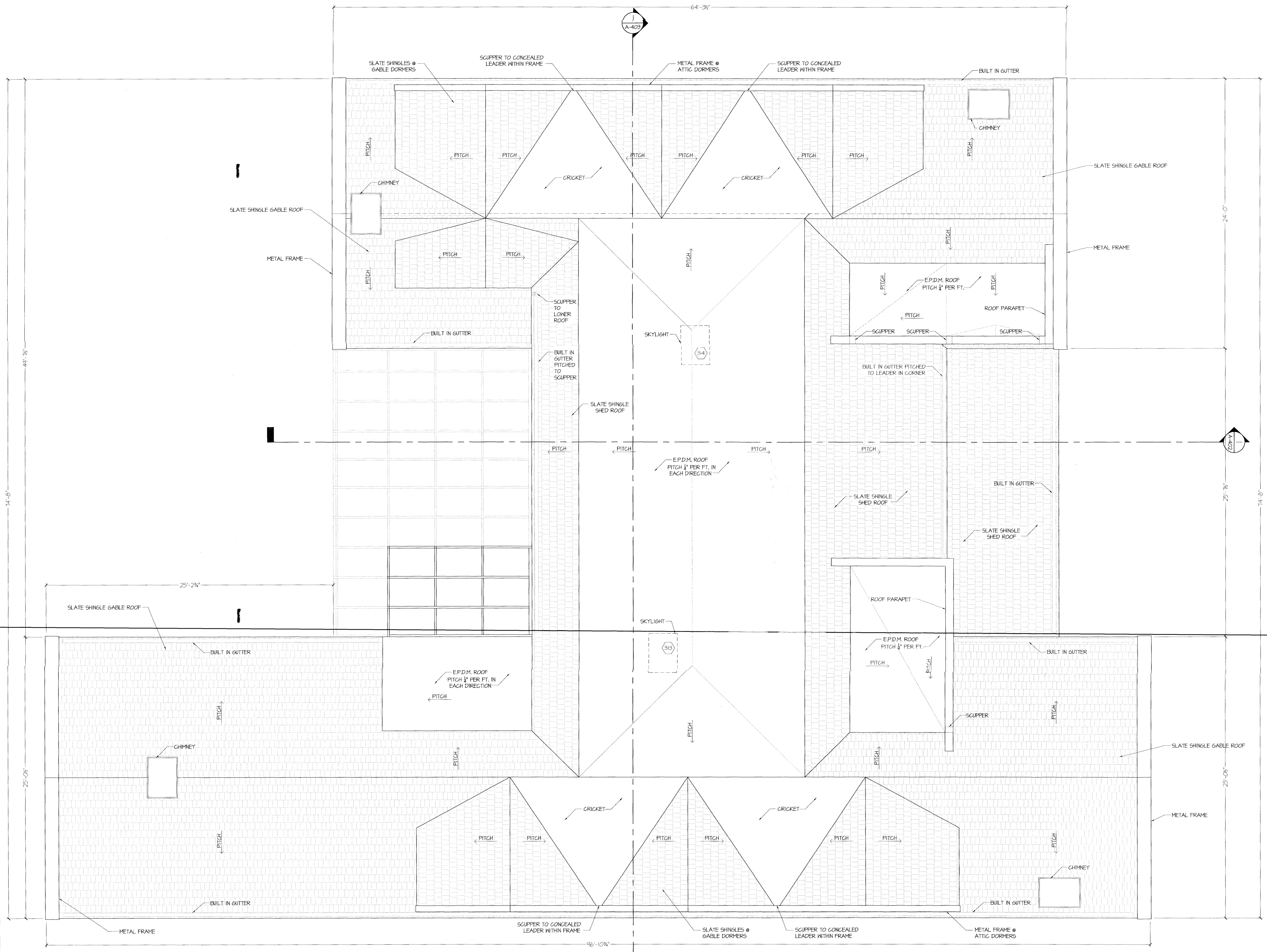
DRAWING TITLE
PROPOSED ROOF PLAN

PROJECT
DANA RESIDENCE
12 BRIGHTON AVENUE
DEAL, NJ 07123

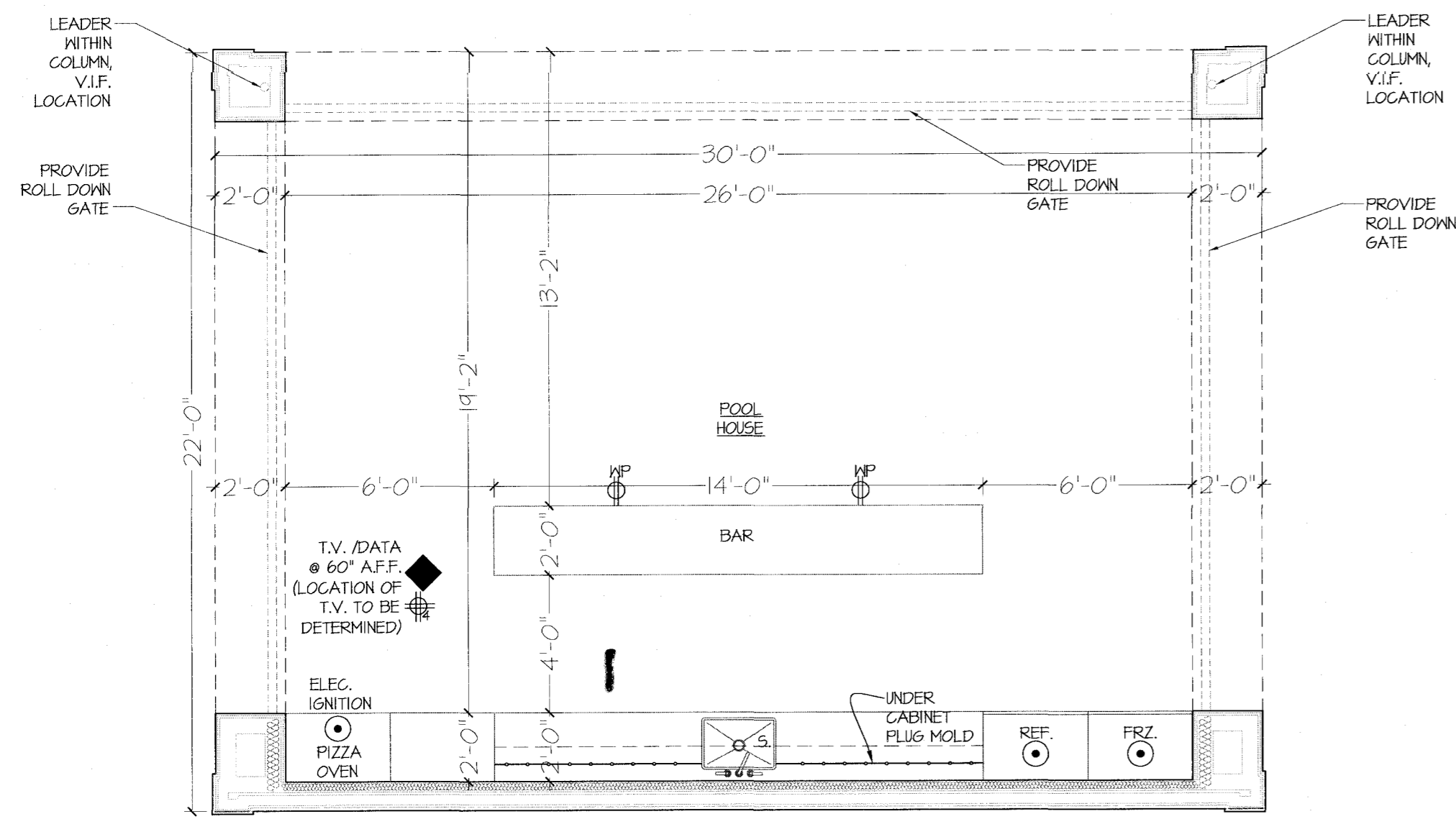
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08/26/2021
08/27/2021

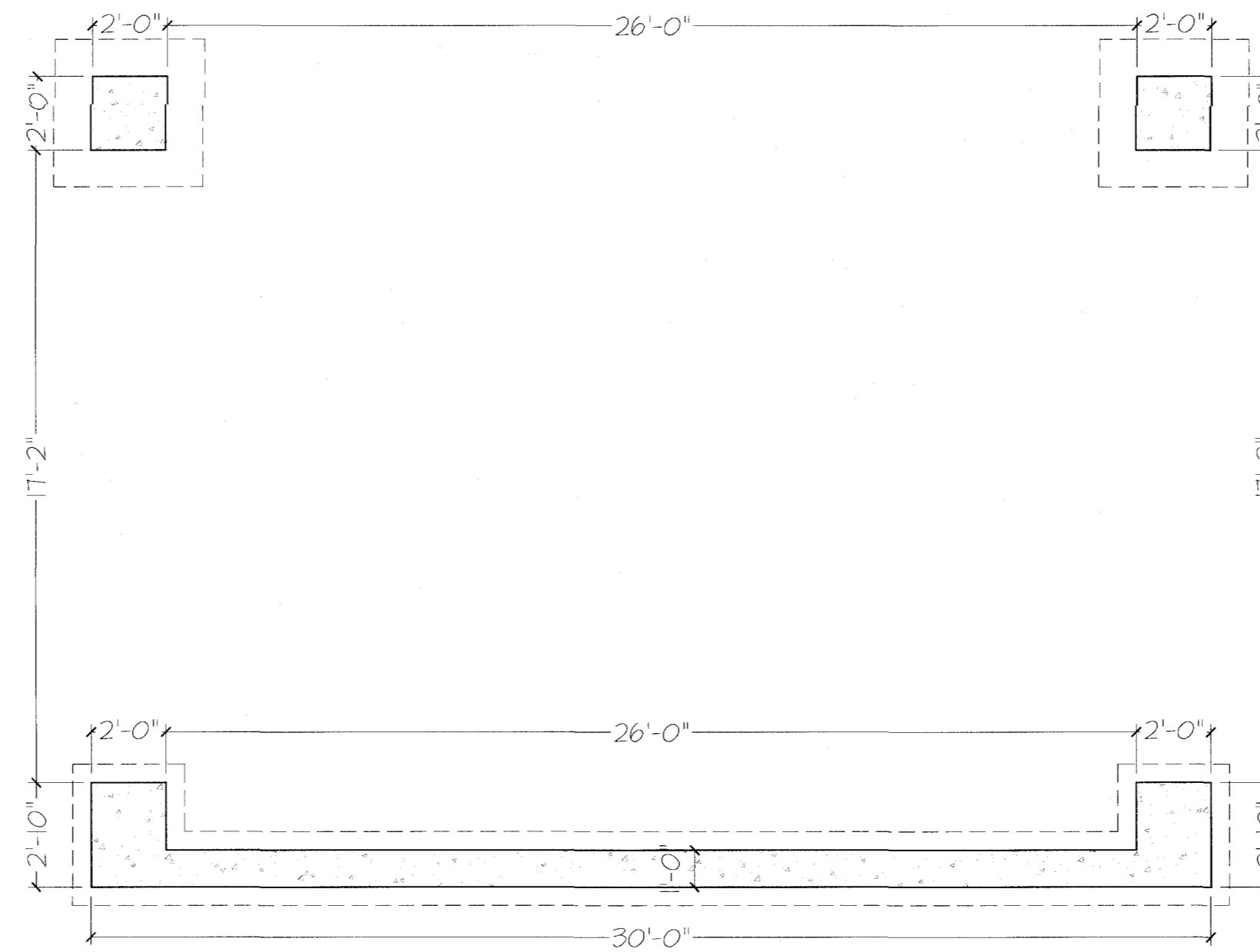
A-204



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

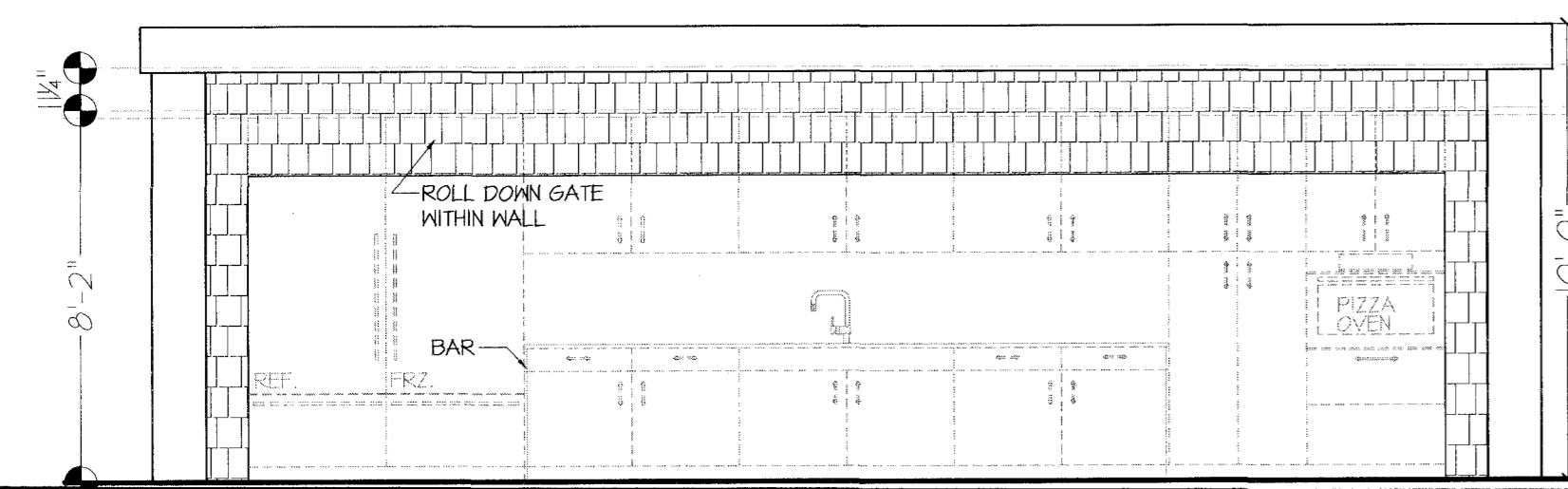


1 POOL HOUSE PLAN
SCALE: 1/4" = 1'-0"

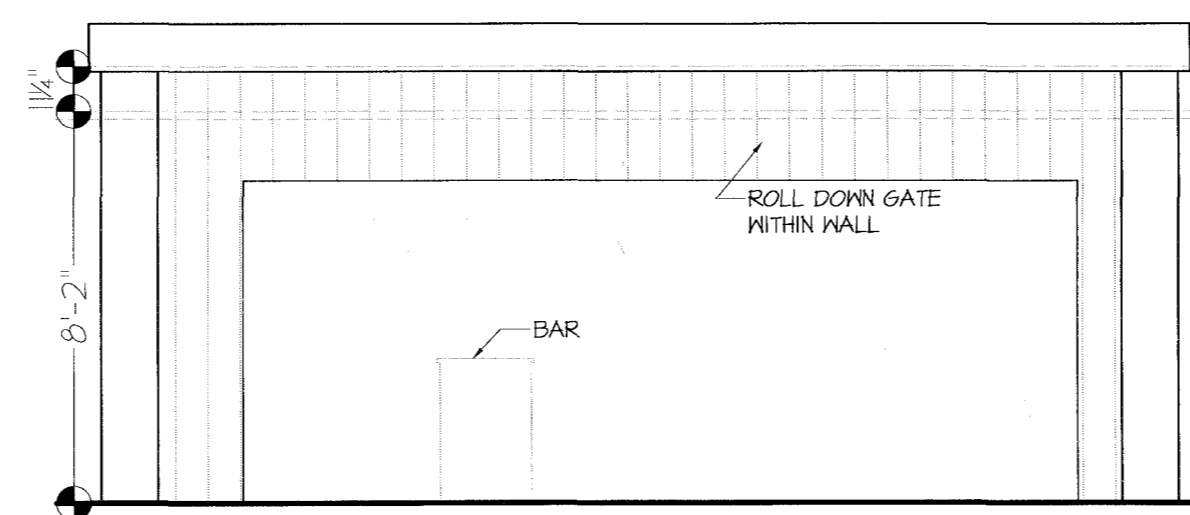


2 POOL HOUSE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

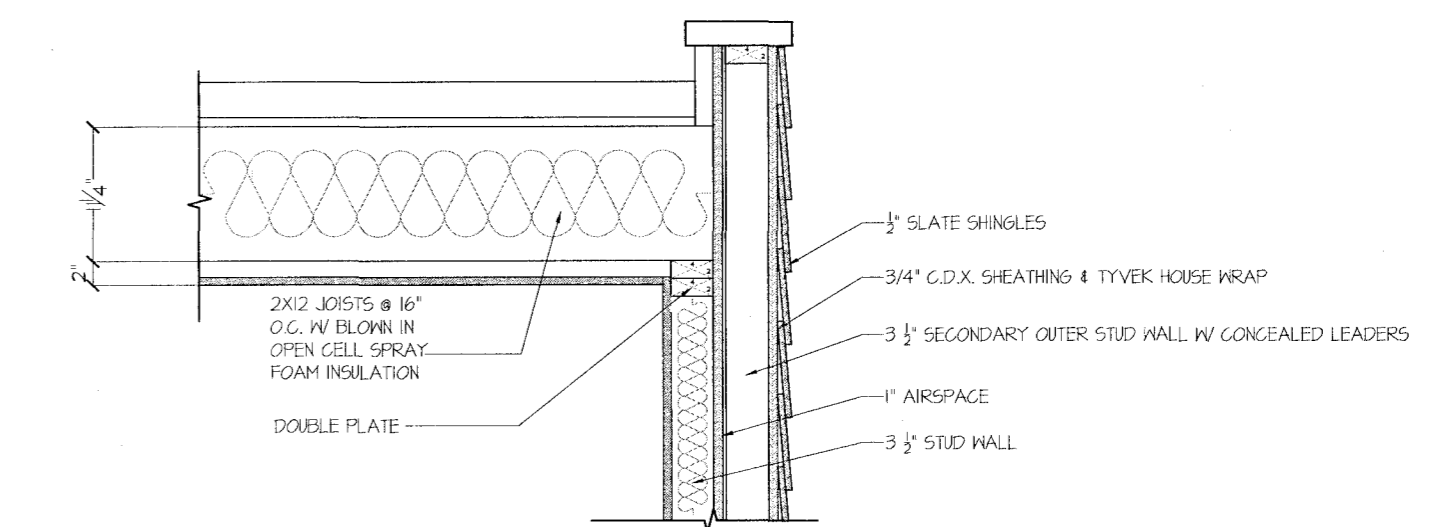
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
◆	TV./DATA JACK MOUNTED IN BASE HORIZ. OR AS NOTED UNDER CABINET PLUG MOLD
⊕	DUPLEX OUTLET MOUNTED HORIZONTALLY IN BASE. OUTLETS BY LUTRON, MAESTRO™ W/ SCREENLESS PLATES, COLOR T.B.D.
⊕	QUAD OUTLET MOUNTED @ 60" AFF. U.O.N. OUTLETS BY LUTRON, MAESTRO™ W/ SCREENLESS PLATES, COLOR T.B.D.
⊕ G.F.I.	G.F.I. DUPLEX OUTLET MOUNTED @ 3'-6" AFF. HORIZONTALLY U.O.N. OUTLETS BY LUTRON, MAESTRO™ W/ SCREENLESS PLATES, COLOR T.B.D.
⊕ WP	DUPLEX WATERPROOF OUTLET MOUNTED HORIZONTALLY IN BASE. OUTLETS BY LUTRON, MAESTRO™ W/ SCREENLESS PLATES, COLOR T.B.D.
⊙	HARDWIRED UNITS/FIXTURES
⊙	NOTE: ALL BATH EXH. FANS @ TO BE BRAIN ULTRA-QUIET EXH. FAN 50 G.F.M.
⊙	EXHAUST FAN



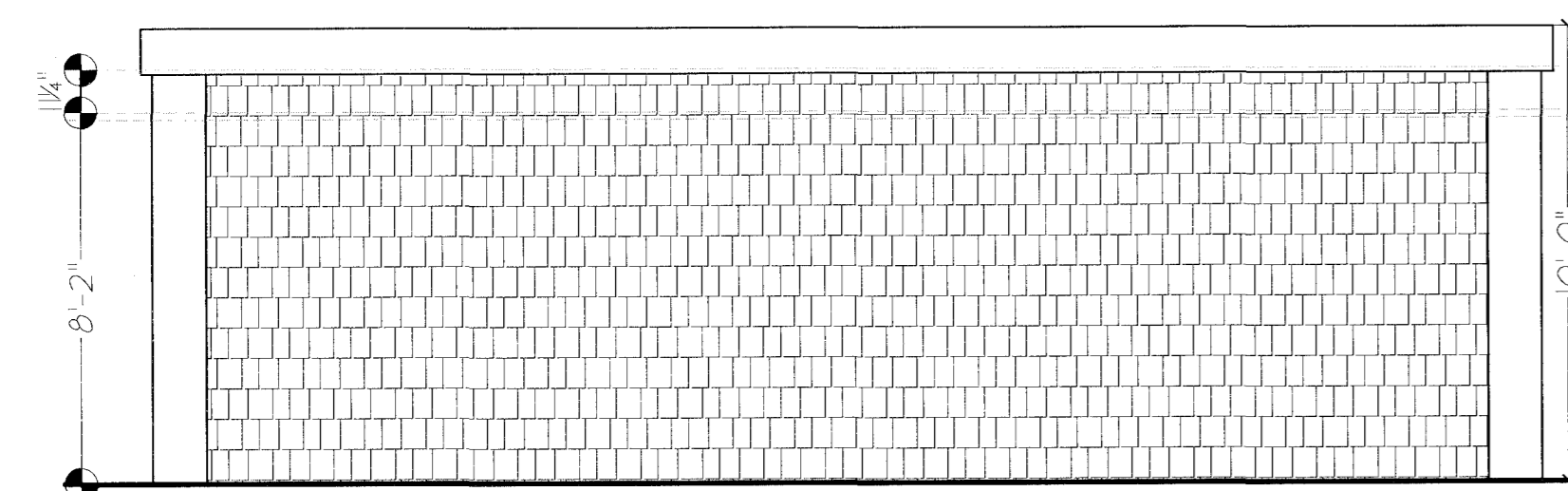
3 POOL HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"



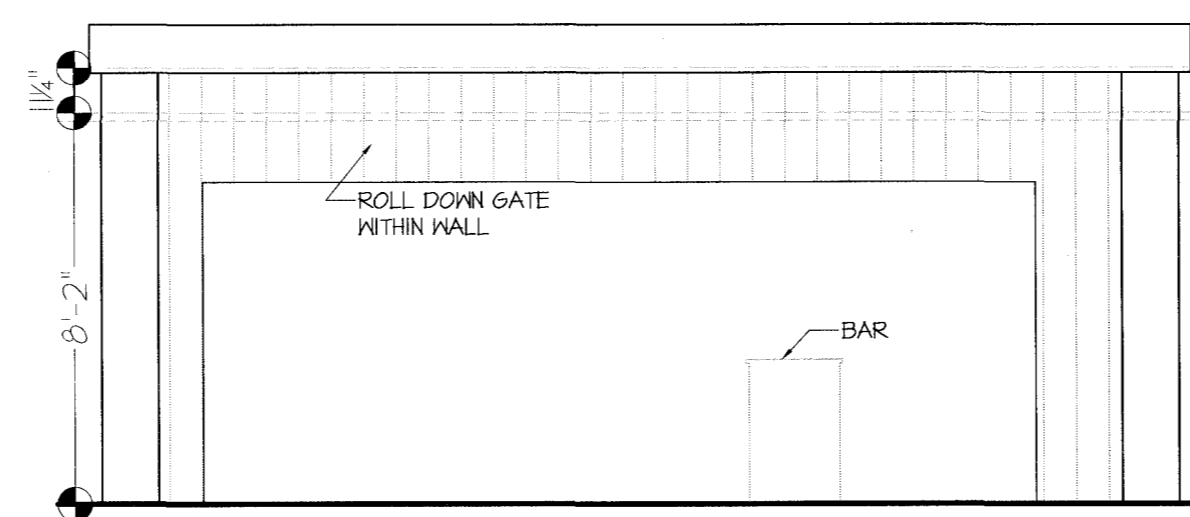
4 POOL HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



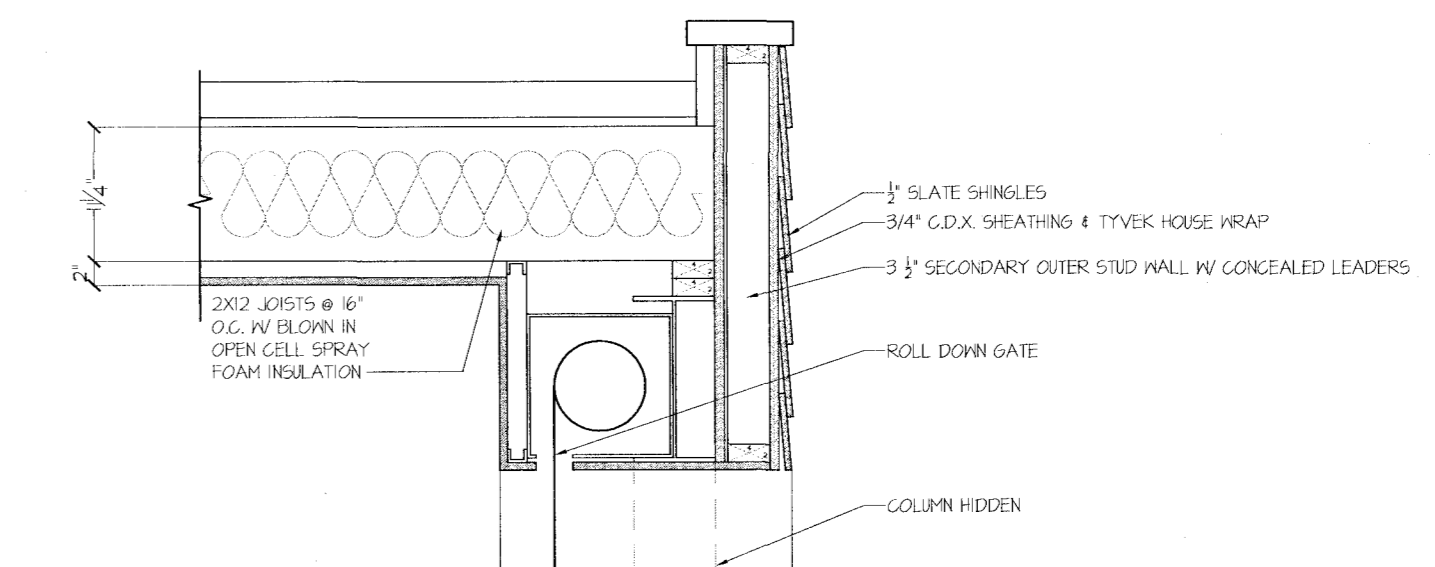
7 POOL HOUSE & EXERCISE AREA TYPICAL DETAIL @ SLATE WALL
SCALE: 3/4" = 1'-0"



5 POOL HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"



6 POOL HOUSE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



8 POOL HOUSE POOL HOUSE & EXERCISE AREA ROLL DOWN GATE DETAIL
SCALE: 3/4" = 1'-0"

DRAWING TITLE
ACCESSORY STRUCTURE (POOL HOUSE)

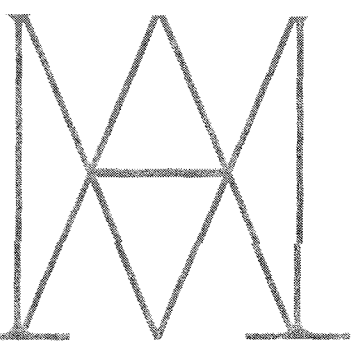
SCALE
AS NOTED

DRAWN BY
M.S.

PROJECT
DANA RESIDENCE
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DEAL, NJ 07723

REVISION
PLANNING BOARD
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DATE
06/20/2023
08/11/2021



**WARREN
MEISTER
ARCHITECTS**
29 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325

DRAWING TITLE
ACCESSORY STRUCTURE (EXERCISE AREA)

DRAWN BY
M.S.

SCALE
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DEAL, NJ 07123

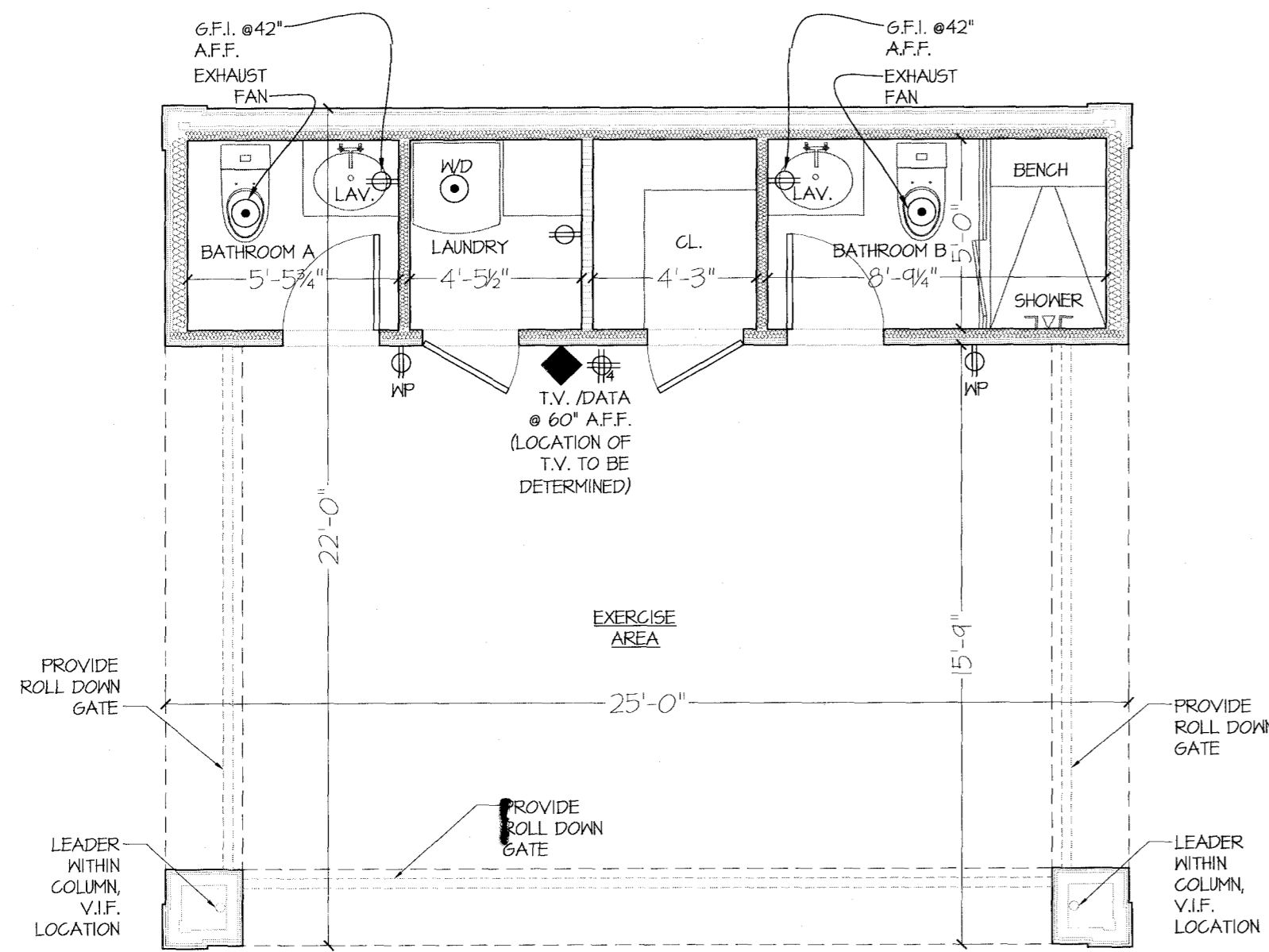
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04/08/2021
03/07/2021

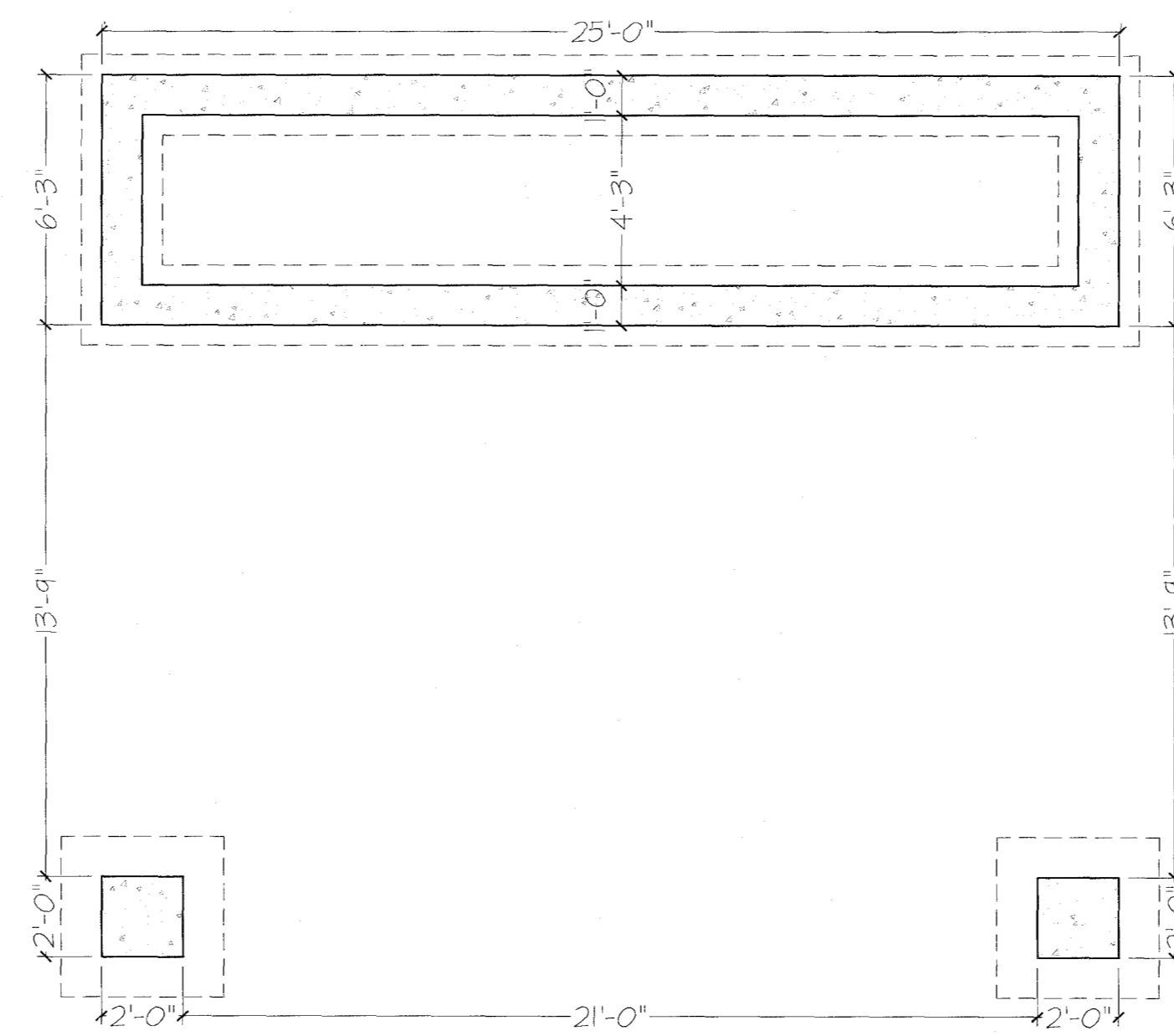
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A-206

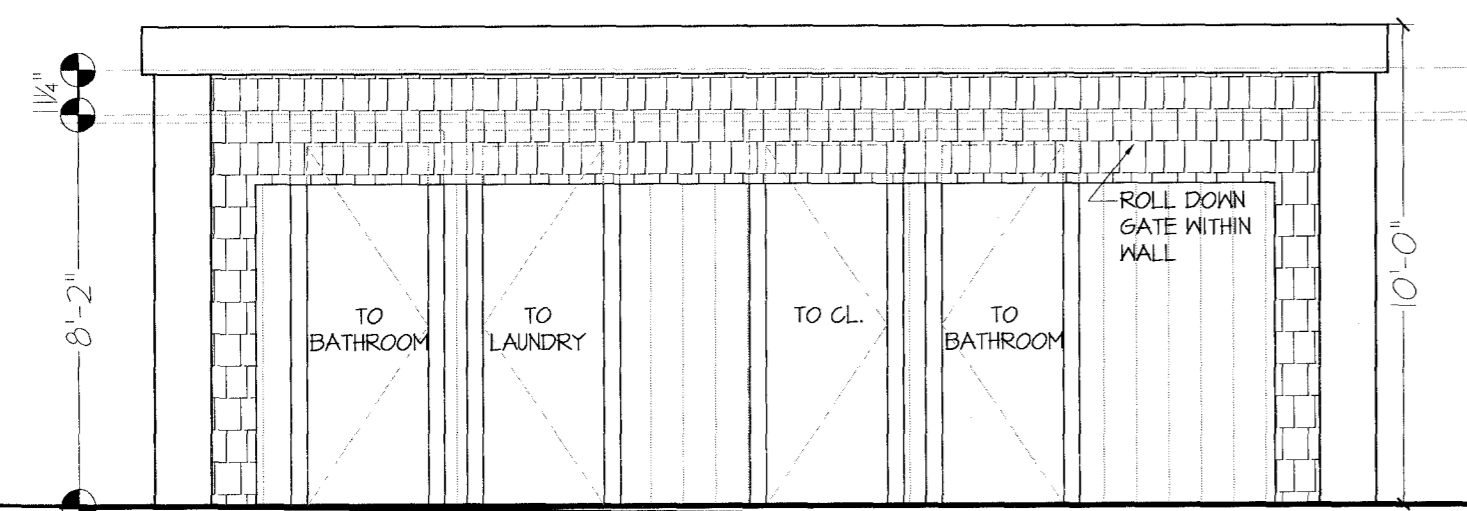
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
◆	T.V./DATA JACK MOUNTED IN BASE HORIZ. OR AS NOTED UNDER CABINET PLUG MOLD
⊕	DUPLEX OUTLET MOUNTED HORIZONTALLY IN BASE. OUTLETS BY "LUTRON, MAESTRO" W/ SCREWLESS PLATES, COLOR T.B.D.
⊕	QUAD OUTLET MOUNTED @60" AFF. U.O.N. OUTLETS BY "LUTRON, MAESTRO" W/ SCREWLESS PLATES, COLOR T.B.D.
⊕	6 F.I. DUPLEX OUTLET MOUNTED @ 3'-6" AFF. HORIZONTALLY U.O.N. OUTLETS BY "LUTRON, MAESTRO" W/ SCREWLESS PLATES, COLOR T.B.D.
⊕	DUPLEX WATERPROOF OUTLET MOUNTED HORIZONTALLY IN BASE. OUTLETS BY "LUTRON, MAESTRO" W/ SCREWLESS PLATES, COLOR T.B.D.
⊙	HARDWIRED UNITS/FIXTURES
⊙	NOTE: ALL BATH EXH. FANS @ TO BE BRAUN ULTRA-QUIET EXH. FAN 50 C.F.M.



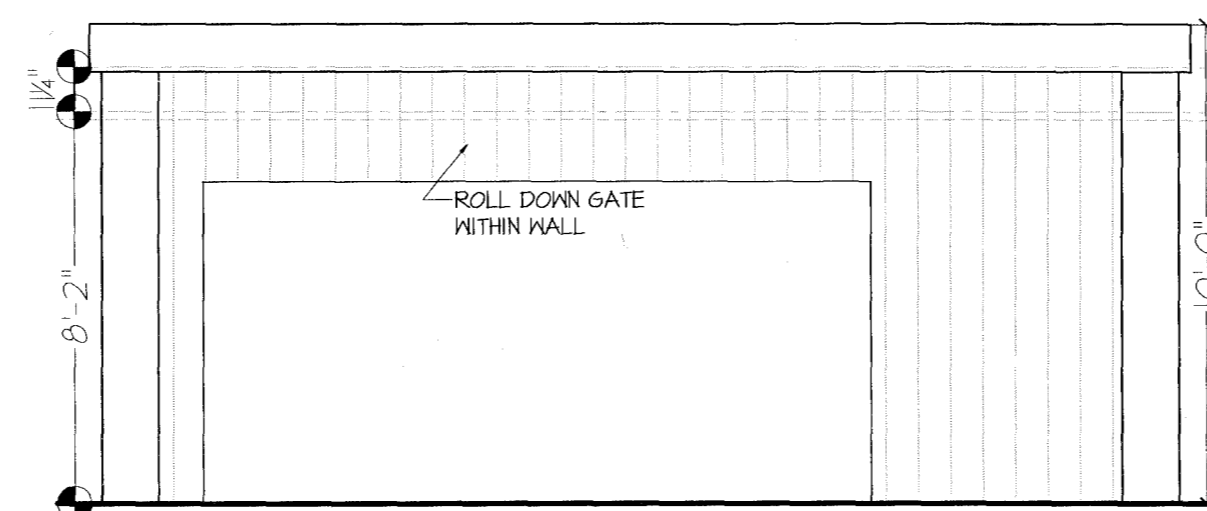
1 EXERCISE AREA PLAN
SCALE: 1/4" = 1'-0"



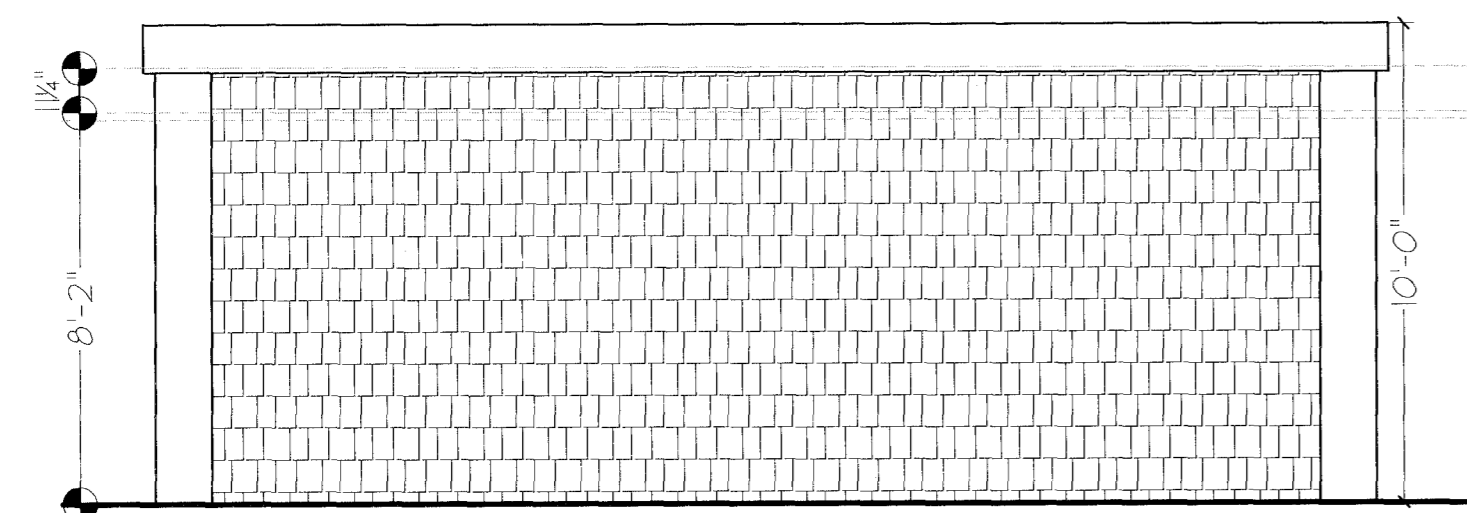
2 EXERCISE AREA FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



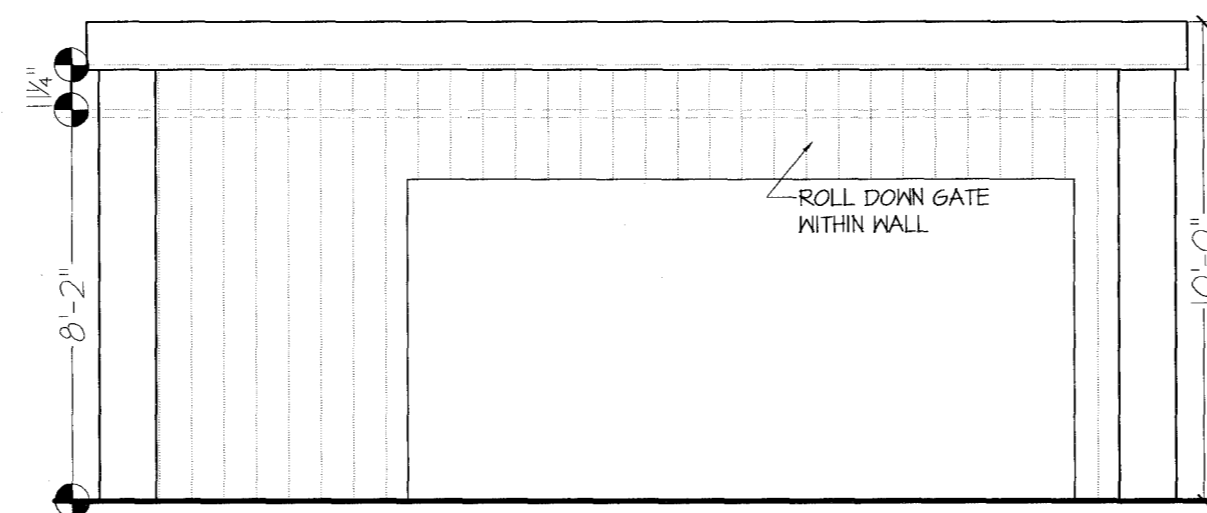
3 EXERCISE AREA EAST ELEVATION
SCALE: 1/4" = 1'-0"



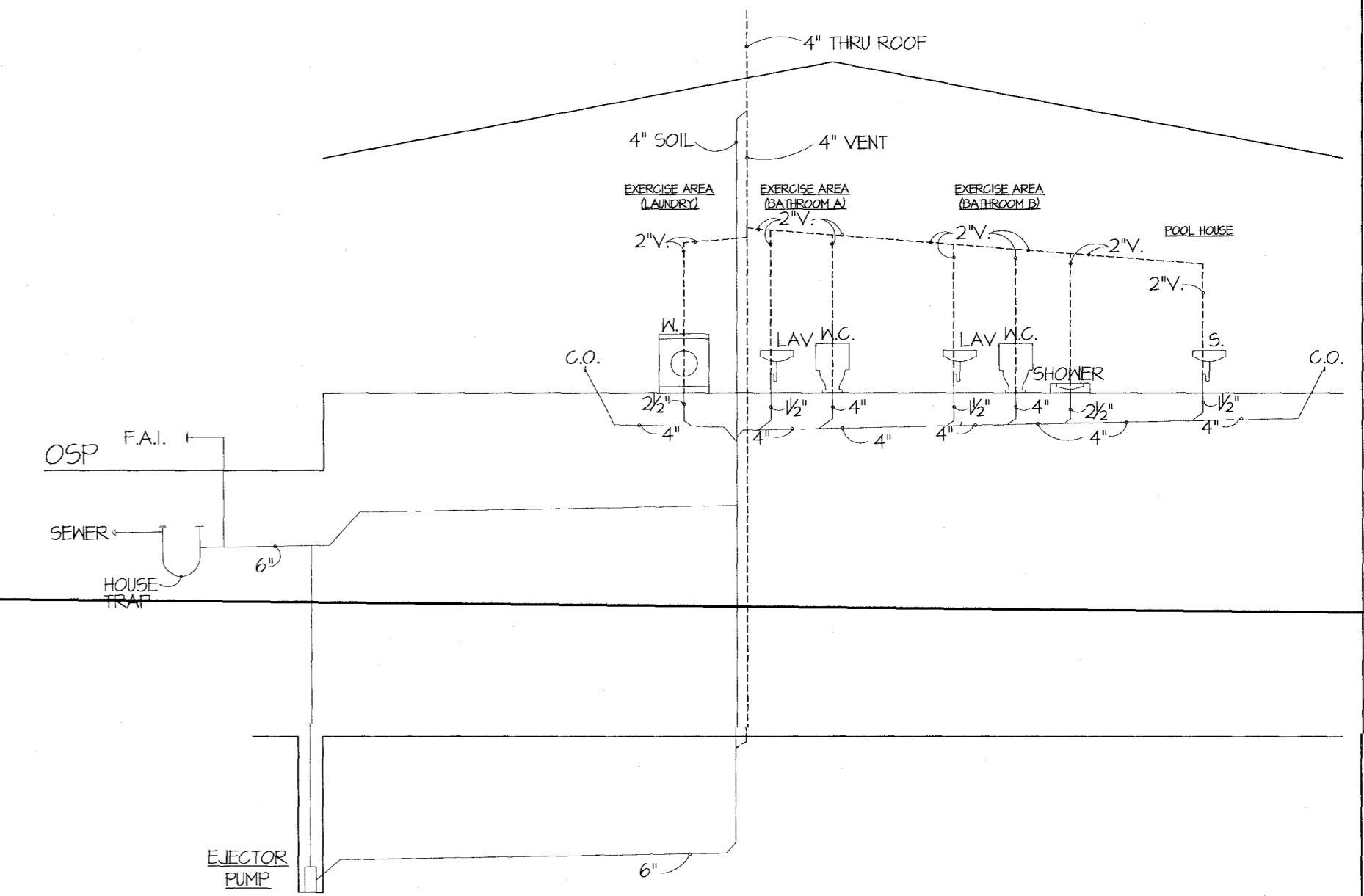
4 EXERCISE AREA NORTH ELEVATION
SCALE: 1/4" = 1'-0"



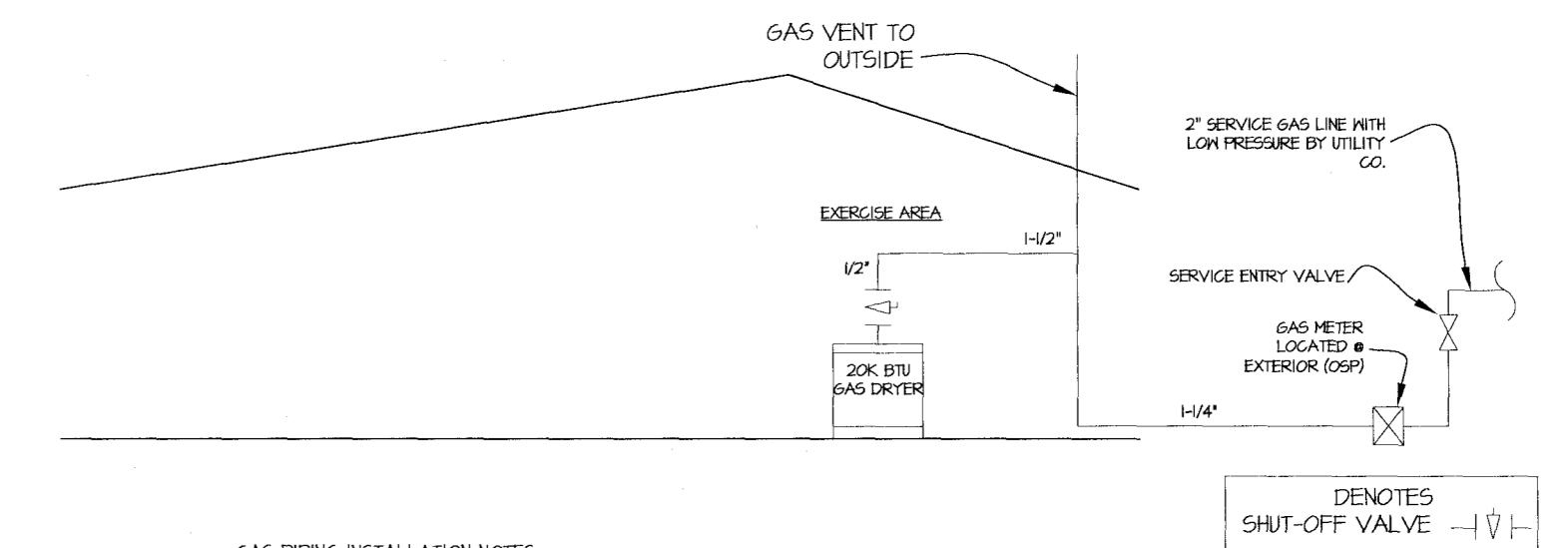
5 EXERCISE AREA WEST ELEVATION
SCALE: 1/4" = 1'-0"



6 EXERCISE AREA SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

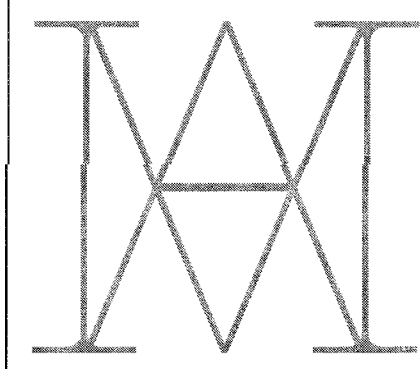


7 POOL HOUSE & EXERCISE AREA PLUMBING RISER DIAGRAM
SCALE: N.T.S.

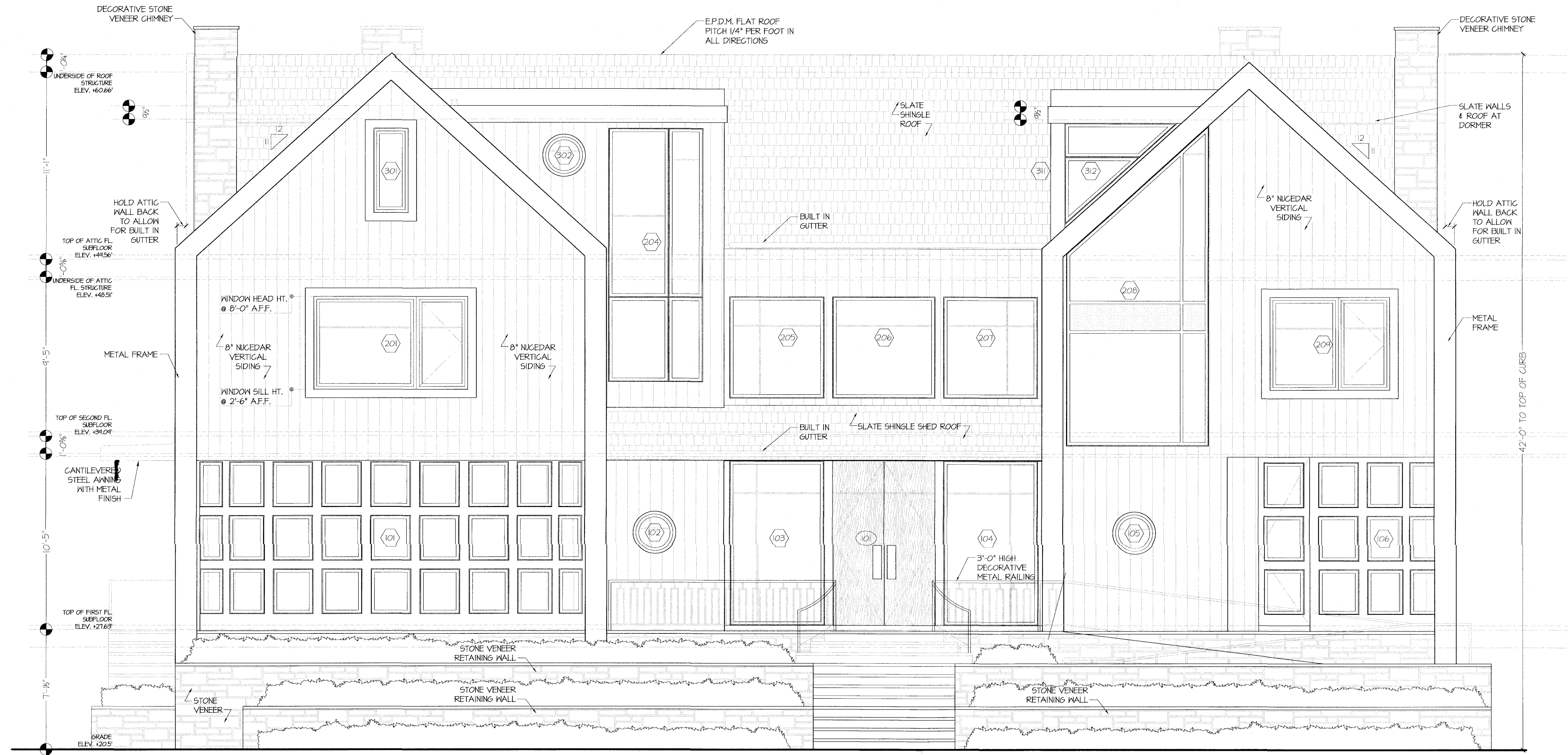


8 EXERCISE AREA GAS RISER DIAGRAM
SCALE: N.T.S.

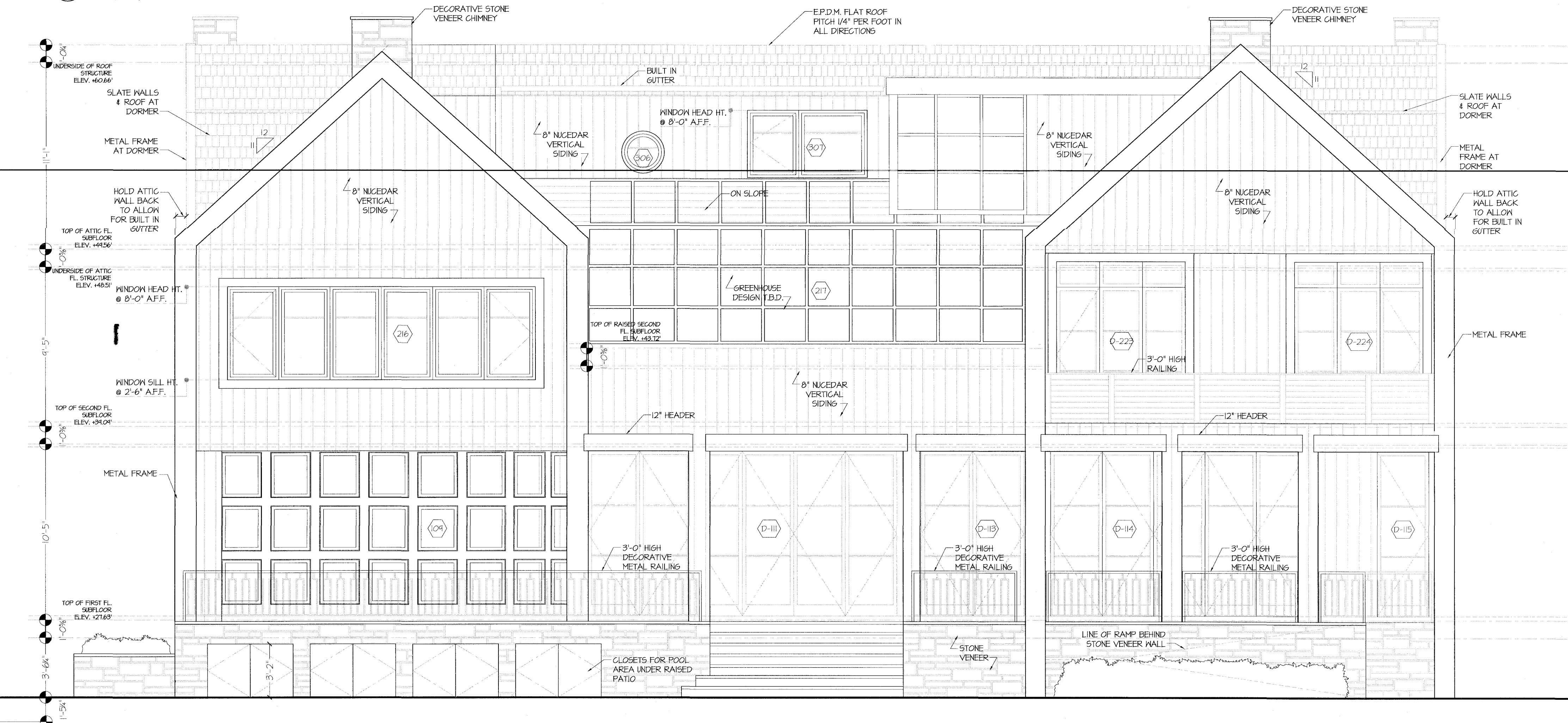
- GAS PIPING INSTALLATION NOTES**
- ALL PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH USLB, CAST IRON SCREWED FITTINGS.
 - PROVIDE SHUT-OFF GAS COCKS IN GAS SERVICE PIPING AT CONNECTIONS TO EXISTING MAIN.
 - ALL GAS PIPING SHALL BE SUPPORTED FROM BUILDING STRUCTURE IN AN APPROVED MANNER.
 - PROVIDE GAS COCK CONNECTION TO GAS TRAIL FOR EACH GAS-FIRED EQUIPMENT ITEM AND ON RISERS AND BRANCHES WHERE INDICATED.
 - LOCATE GAS COCKS WHERE EASILY ACCESSIBLE, AND WHERE THEY WILL BE PROTECTED FROM POSSIBLE DAMAGE.
 - CONNECT GAS PIPING TO EACH GAS-FIRED EQUIPMENT ITEM IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



**WARREN
MEISTER
ARCHITECTS**
22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325



1 PROPOSED NORTH FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH REAR ELEVATION
SCALE: 1/4" = 1'-0"

DRAWING TITLE
PROPOSED FRONT & REAR ELEVATIONS

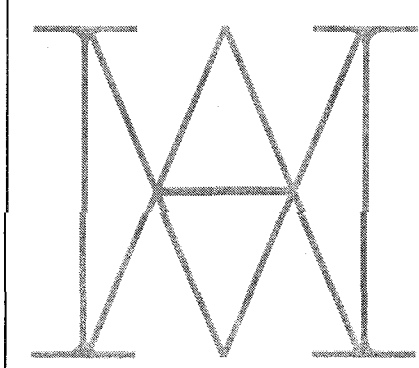
DRAWN BY
M.S.
SCALE
1/4" = 1'-0"

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07713

REVISION
PLANNING BOARD
PLANNING BOARD

DATE
06/29/2021
06/29/21

A-300



WARREN MEISTERS ARCHITECTS

22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325

DRAWING TITLE
PROPOSED SIDE ELEVATIONS

DRAWN BY
M.S.

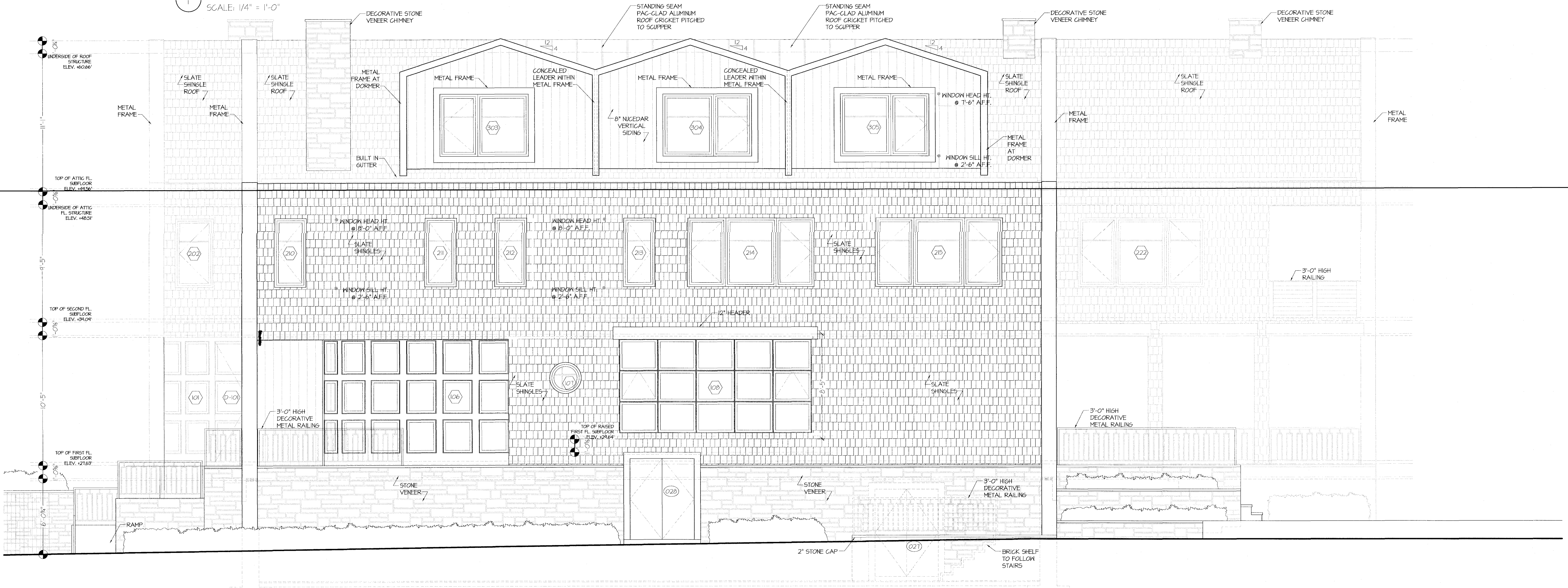
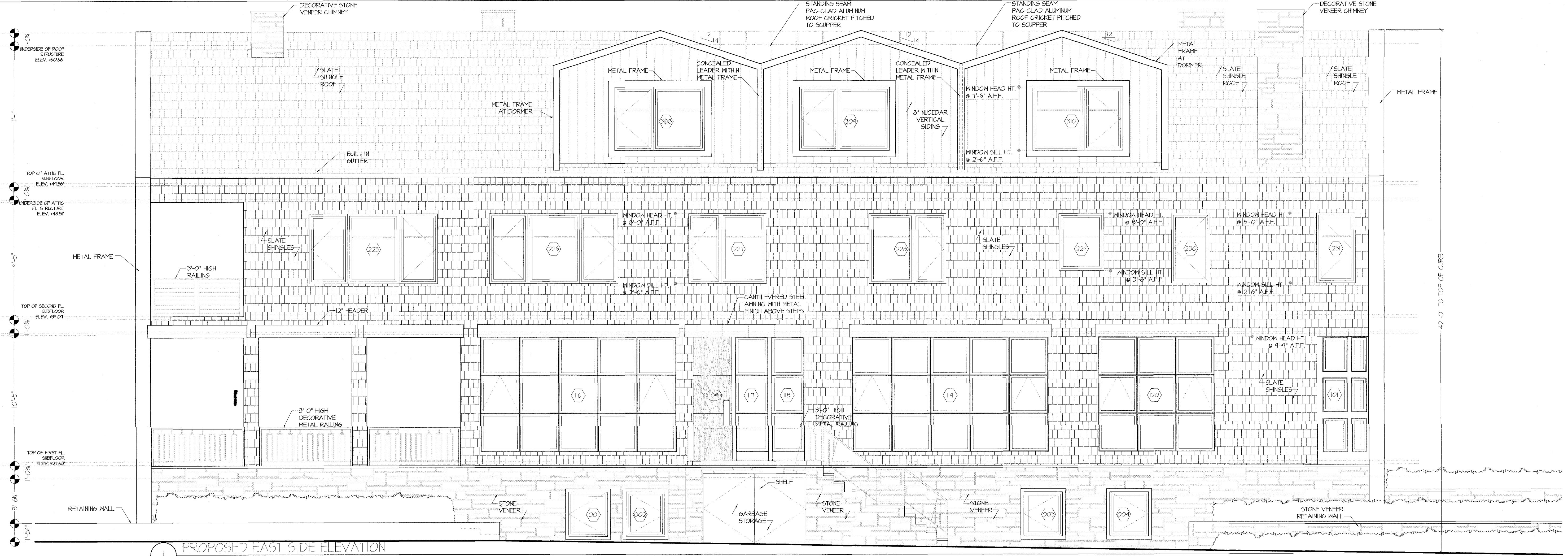
SCALE
1/4" = 1'-0"

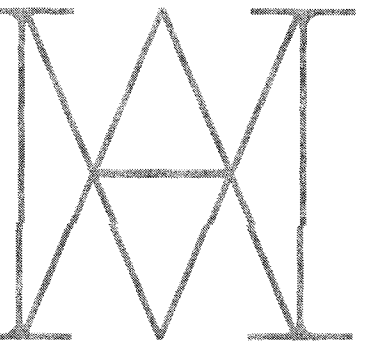
PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07123

REVISION
PLANNING BOARD
PLANNING BOARD

DATE
06/03/22
06/02/22

A-301





WARREN
MEISTER
ARCHITECTS

22 KENDALL DRIVE
NEW CITY, NY 10956
P: 845.639.7321
F: 845.639.7325



1 SKY EXPOSURE DIAGRAM
SCALE: 1/8" = 1'-0"

DRAWING TITLE
SKY EXPOSURE DIAGRAM

SCALE
1/8" = 1'-0"

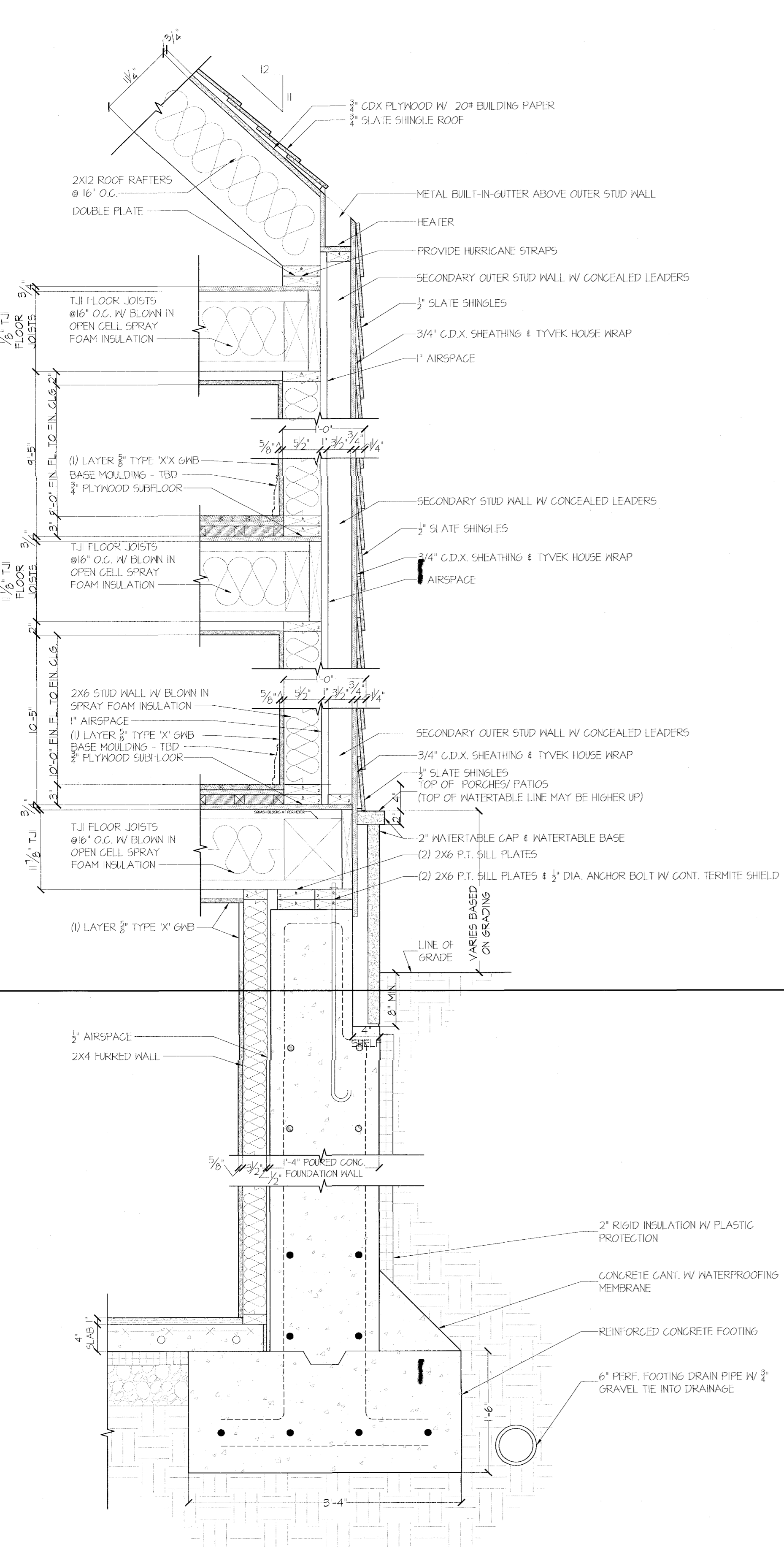
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M.S.

PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07123

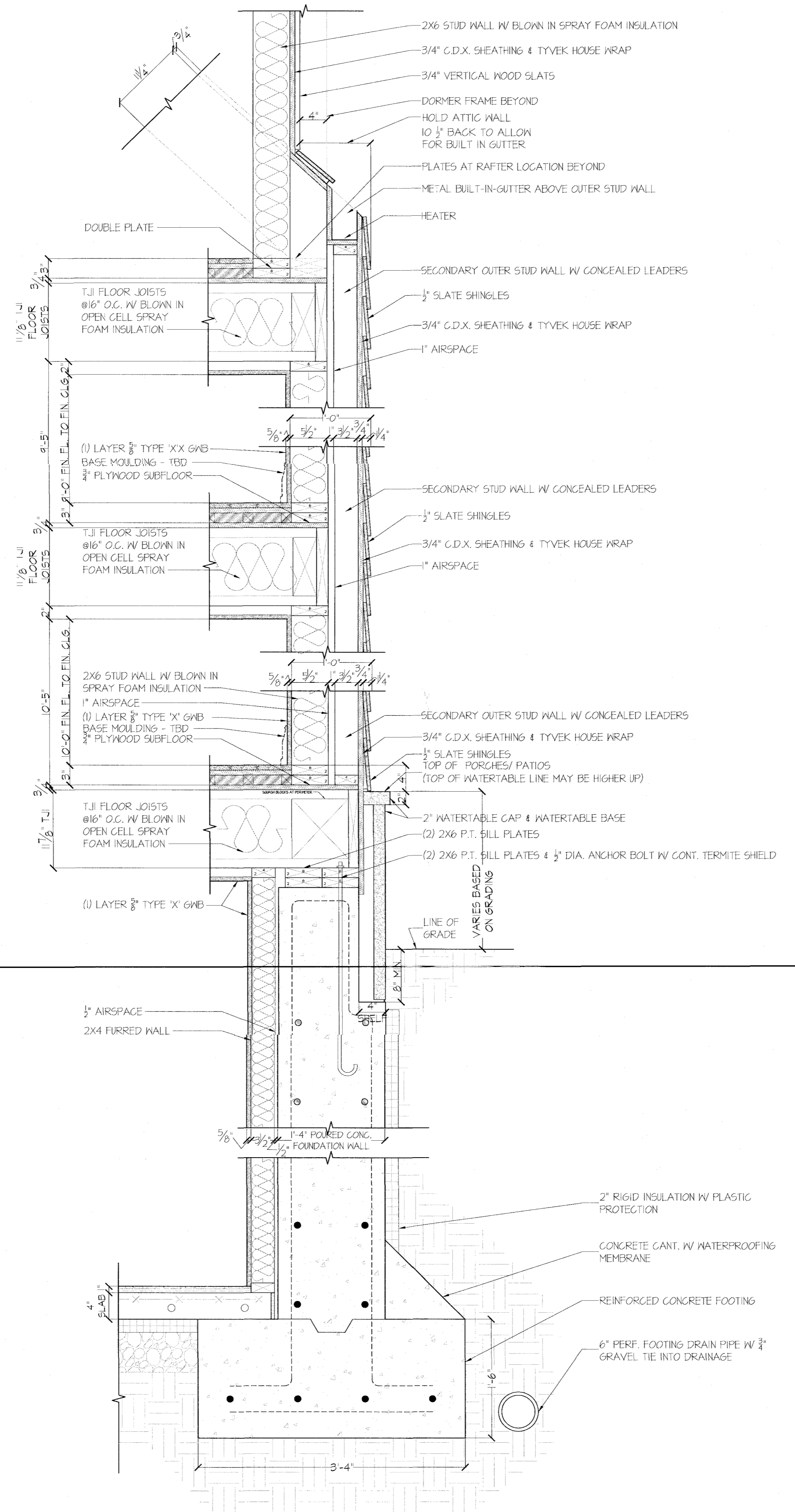
REVISION
PLANNING BOARD
PLANNING BOARD

DATE
06/09/2023
09/02/2023

- NOTES:**
- ALL CEILINGS TO HAVE 5/8" TYPE 'X' GWB.
 - PROVIDE SIMPSON HOLDDOWNS AT ALL BUILDING CORNERS.
 - PROVIDE SIMPSON METAL STRAPPING AT 16" O.C. THROUGHOUT.
 - PROVIDE HURRICANE STRAPS @ ROOF RAFTERS AT 16" O.C. AS REQUIRED BY SIMPSON STRONG TIE MDL-H25A.
 - ALL ELEVATED SURFACES LOCATED GREATER THAN 30" ABOVE GRADE OR FINISH FLOOR AREA SHALL HAVE RAILINGS/GUARDS AT A MINIMUM OF 36" HIGH.
 - ALL RAILINGS TO BE 3'-0" A.F.F.; ALL BALUSTERS TO BE SPACED MIN. 4" CENTERLINE OF EACH OTHER, SO THAT NO 4" DIAMETER BALL CAN PASS THROUGH.
 - ALL BEDROOMS TO HAVE EGRESS WINDOWS.
 - PROVIDE WATERLINE FOR SPRINKLERS FOR FRONT PLANTING & REAR PLANTING AREAS.
 - PROVIDE GAS LINE FOR FIREPLACE @ BBQ.
 - DAMP PROOF CELLAR WALLS AS REQUIRED.
 - ALL CELLAR & POOL HOUSE G.W.B. TO BE PURPLE XP.
 - MECHANICAL ROOMS: ALL WALLS TO BE (2) HOUR FIRE RATED & CEILINGS/FLOORS TO BE (1) HOUR FIRE RATED; DOORS TO BE (1) HOUR FIRE RATED SELF CLOSING (LABEL B' F.P.S.C.).
 - NO STORAGE OF ANY KIND IS PERMITTED WITHIN MECHANICAL ROOMS.
 - PROVIDE DROP DOWN WEATHER STRIPPING @ ALL MECHANICAL ROOM DOORS.
 - ALL ACCESS PANELS/DOORS TO BE FIRE RATED TO ALL APPLICABLE NEW JERSEY STATE CODES @ INSULATED.
 - PROVIDE SWEEP VAC. @ ALL KITCHENS.
 - PROVIDE PRICE FOR 10" O.D. PVC LAUNDRY CHUTE.
 - ALL BATHROOM SHOWER DRAINS TO BE 3" DRAINS.
 - PROVIDE SOUND SENSE LV-M ON ALL PIPES.
 - ALL SHOWERS TO RECEIVE NICHES; SEE INTERIOR DESIGNER DRAWINGS FOR SIZE/LOCATION.
 - PROVIDE R-19 SOUND ATTENUATION INSULATION BETWEEN ALL FLOORS.
 - ALL RM JOIST TO RECEIVE CLOSED CELL SPRAY ON FOAM INSULATION.
 - PROVIDE SOUND ATTENUATION BLANKETS IN ALL WALLS @ HALLS, BATHS, POWDER ROOMS, KITCHENS, MECHANICAL ROOMS, & STAIR ROOMS.
 - ALL INSULATION TO BE OPEN OR CLOSED CELL INSULATION AS INDICATED.
 - PROVIDE 30# BUILDING FELT OR ROSIN PAPER BELOW ALL WOOD FLOORS.
 - ALL INTERIOR STAIRS TO BE 1 1/4" QUARTERED SAWN WHITE RIFT OAK TREADS & RISERS.
 - PROVIDE APPROPRIATE SADDLES AS REQUIRED; NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS (I.E. STONE, WOOD, ETC.).
 - ALL FLASHING TO BE ALUMINUM (TYP).
 - ALL LEADERS & CONDUCTOR HEADS TO BE ALUMINUM.
 - G.C. TO PROVIDE AS MANY GUTTERS, LEADERS, & CONDUCTOR HEADS AS REQUIRED TO PROPERLY DRAIN THE BUILDING (I.E. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS); ANY EXTRA REQUIRED G.C. SHALL INFORM ARCHITECT.
 - G.C. TO PROVIDE ALL CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE NOT LIMITED TO WHAT IS SHOWN; ALL CRICKETS TO BE PAC-CLAF STANDING SEAM ALUMINUM.
 - PROVIDE LIGHTING PROTECTION THROUGHOUT ROOF AS REQUIRED.
 - ALL PITCH TO BE A MINIMUM OF 1/2" PER FOOT.
 - ALL AREAS WITH EPDM ROOFING TO BE OVER 2x8'S CUT FROM 0' TO 1 1/4" TO FORM SLOPE.
 - PROVIDE ALUMINUM CAP FLASHING AS REQ'D.
 - PROVIDE CAP FLASHING ON THE FOLLOWING (BUT NOT LIMITED TO):
 - DECORATIVE CUSTOM WOOD PERGOLA LINTELS, RAFTERS, & PURLING
 - DECORATIVE CUSTOM COLUMNS
 - SCUPPERS & CONDUCTOR HEADS
 - ALL MASONRY TIES & ANCHORS TO BE STAINLESS STEEL (NON-CORROSIVE); AT ALL CORNERS USE EXTRA TIES WHEN POSSIBLE.
 - ALL MORTAR @ STONE TO BE NON-STAINING.
 - ALL VENEER STONE TO BE 2" CAST STONE, U.O.N.
 - ALL EXTERIOR CURBS TO BE CAST STONE, U.O.N.
 - ALL EXTERIOR TREADS TO BE STONE SLAB.
 - PROVIDE VARIOUS MOCK-UP OF EXTERIOR FINISHES & STONE VENEER W/MORTAR FOR OWNER/ARCHITECT APPROVAL.
 - PROVIDE SHOP DRAWINGS & MATERIAL SAMPLES W/COLOR AND FINISHES FOR ALL STONE WORK & WOOD WORK, BUT NOT LIMITED TO - SEE INTERIOR ELEVATIONS FOR INFORMATION ON INTERIOR FINISHES & LAYOUT, INCLUDING SPECIALTY CEILINGS (DO NOT USE BUILDING SECTIONS FOR INTERIOR INFORMATION).



1 PROPOSED WALL SECTION @ EAST/WEST DOUBLE WALL
SCALE: 1" = 1'-0"



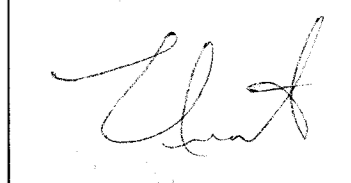
2 PROPOSED WALL SECTION @ ATTIC DORMER
SCALE: 1" = 1'-0"

DRAWING TITLE
PROPOSED WALL SECTIONS

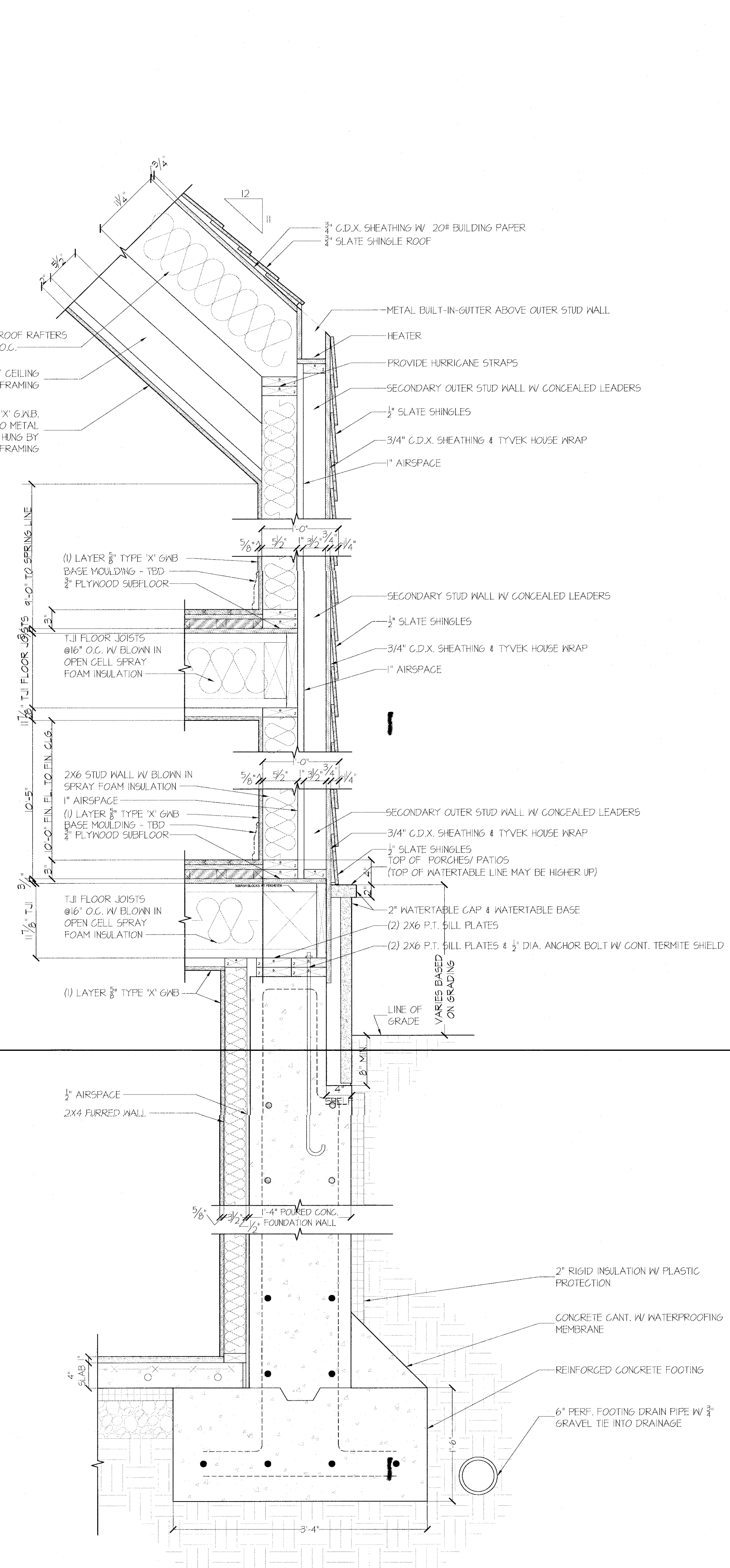
PROJECT
DANA RESIDENCE
72 BRIGHTON AVENUE
DEAL, NJ 07723

REVISION
PLANNING BOARD
PLANNING BOARD

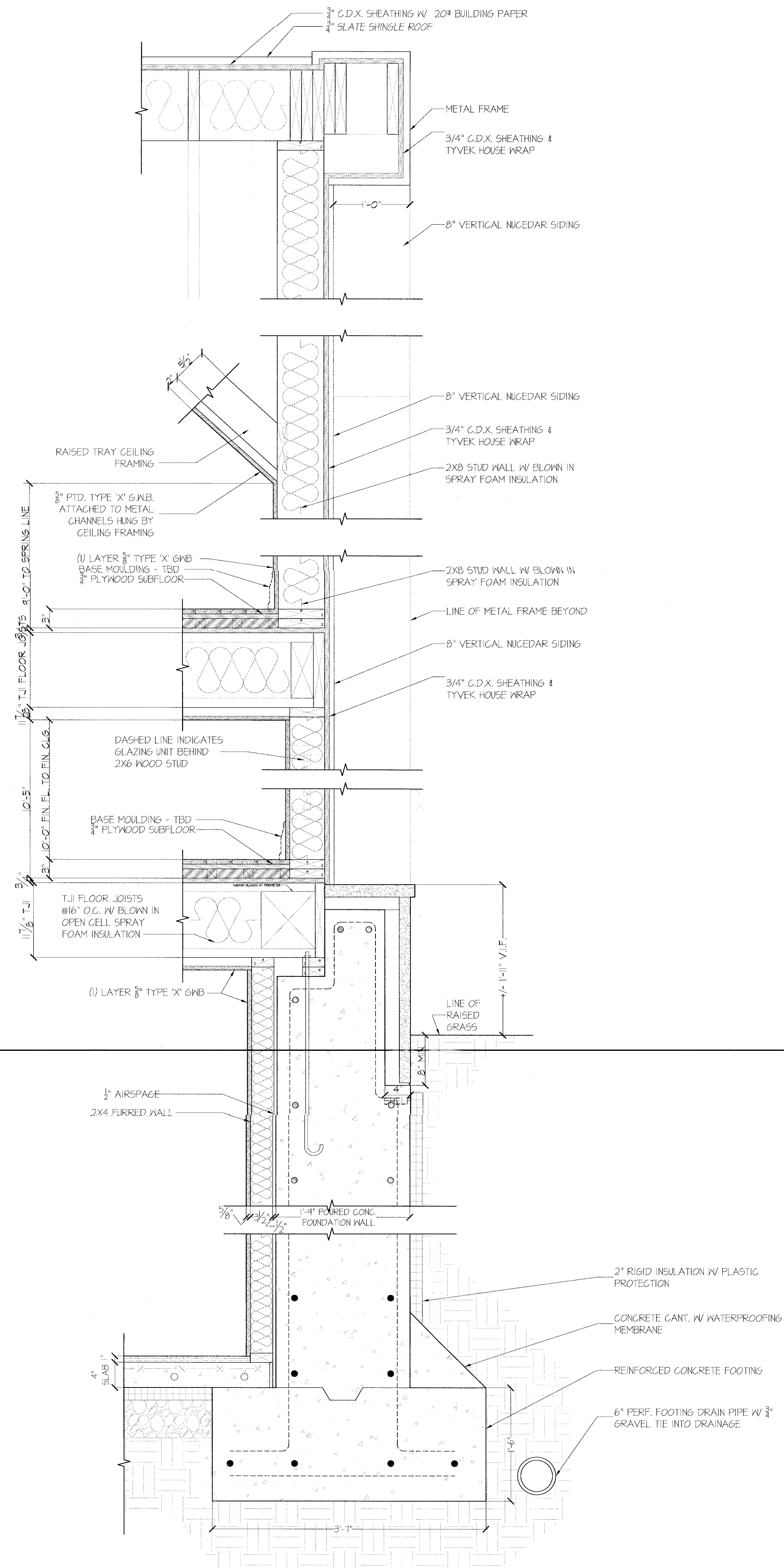
DATE
06/20/2023
06/27/2023



- NOTES:**
- ALL CEILING TO HAVE 5/8" TYPE 'X' GNB.
 - PROVIDE SIMPSON HOLDDOWNS AT ALL BUILDING CORNERS.
 - PROVIDE SIMPSON METAL STRAPPING AT 16" O.C. THROUGHOUT.
 - PROVIDE HURRICANE STRAPS @ ROOF RAFTERS AT 16" O.C. AS REQUIRED BY SIMPSON STRONG TIE MANUALS.
 - ALL ELEVATED SURFACES LOCATED GREATER THAN 30" ABOVE GRADE OR FINISH FLOOR AREA SHALL HAVE RAILINGS/GUARDS AT A MINIMUM OF 36" HIGH.
 - ALL RAILINGS TO BE 3'-0" A.F.F. ALL BAULSTERS TO BE SPACED MIN 4' CENTERLINE OF EACH OTHER SO THAT NO 4" DIAMETER BALL CANNOT PASS THROUGH.
 - ALL BEDROOMS TO HAVE EGRESS WINDOWS.
 - PROVIDE WATERLINE FOR SPRINKLERS FOR FRONT PLANTING & REAR PLANTING AREAS.
 - PROVIDE GAS LINE FOR FIREPLACE & BBQ.
 - DAMP PROOF CELLAR WALLS AS REQUIRED.
 - ALL CELLAR & POOL HOUSE G.A.B. TO BE PURPLE XP.
 - MECHANICAL ROOMS: ALL WALLS TO BE (2) HOUR FIRE RATED & CEILING/FLOORS TO BE (1) HOUR FIRE RATED. DOORS TO BE (1/2) HOUR FIRE RATED SELF CLOSING (LABEL 'B' F.P.S.C.).
 - NO STORAGE OF ANY KIND IS PERMITTED WITHIN MECHANICAL ROOMS.
 - PROVIDE DROP DOWN WEATHER STRIPPING @ ALL MECHANICAL ROOM DOORS.
 - ALL ACCESS PANELS/DOORS TO BE FIRE RATED TO ALL APPLICABLE NEW JERSEY STATE CODES & INSULATED.
 - PROVIDE SLEEP VAC. @ ALL KITCHENS.
 - PROVIDE PRICE FOR 10' O.D. PVC LAUNDRY CHUTE.
 - ALL BATHROOM SHOWER DRAINS TO BE 3" DRAINS.
 - PROVIDE SOUND SENSE LV-M ON ALL PIPES.
 - ALL SHOWERS TO RECEIVE NICHES; SEE INTERIOR DESIGNER DRAWINGS FOR SIZE/LOCATION.
 - PROVIDE R-13 SOUND ATTENUATION INSULATION BETWEEN ALL FLOORS.
 - ALL RIM JOIST TO RECEIVE CLOSED CELL SPRAY ON FOAM INSULATION.
 - PROVIDE SOUND ATTENUATION BLANKETS IN ALL WALLS @ HALLS, BATHS, POWDER ROOMS, KITCHENS, MECHANICAL ROOMS, & STAIR ROOMS.
 - ALL INSULATION TO BE OPEN OR CLOSED CELL INSULATION AS INDICATED.
 - PROVIDE 30# BUILDING FELT OR ROSIN PAPER BELOW ALL WOOD FLOORS.
 - ALL INTERIOR STAIRS TO BE 1/4" QUARTERED SAWN WHITE RIFT OAK TREADS & RISERS.
 - PROVIDE APPROPRIATE SADDLES AS REQUIRED. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS (I.E. STONE, WOOD, ETC.).
 - ALL FLASHING TO BE ALUMINUM (TYP).
 - ALL LEADERS & CONDUCTOR HEADS TO BE ALUMINUM.
 - G.C. TO PROVIDE AS MANY GUTTERS, LEADERS, & CONDUCTOR HEADS AS REQUIRED TO PROPERLY DRAIN THE BUILDING (I.E. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS). ANY EXTRA REQUIRED G.C. SHALL INFORM ARCHITECT.
 - G.C. TO PROVIDE ALL CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE. NOT LIMITED TO WHAT IS SHOWN. ALL CRICKETS TO BE PAC-CLAF STANDING SEAM ALUMINUM.
 - PROVIDE LIGHTING PROTECTION THROUGH-OUT ROOF AS REQUIRED.
 - ALL PITCH TO BE A MINIMUM OF 1/4" PER FOOT.
 - ALL AREAS WITH EPDM ROOFING TO BE OVER 2X6'S OUT FROM 0' TO 1'1/4" TO FORM SLOPE.
 - PROVIDE ALUMINUM CAP FLASHING AS REQ'D.
 - PROVIDE CAP FLASHING ON THE FOLLOWING (BUT NOT LIMITED TO):
 - DECORATIVE CUSTOM WOOD PERGOLA LINTELS, RAFTERS, & PURLINS
 - SCUPPERS & CONDUCTOR HEADS
 - ALL MASONRY TIES & ANCHORS TO BE STAINLESS STEEL (NON-CORROSIVE); AT ALL CORNERS USE EXTRA TIES WHEN POSSIBLE.
 - ALL MORTAR & STONE TO BE NON-STAINING.
 - ALL VENEER STONE TO BE 2" CAST STONE U.O.N.
 - ALL EXTERIOR CURBS TO BE CAST STONE U.O.N.
 - ALL EXTERIOR TREADS TO BE STONE SLAB.
 - PROVIDE VARIOUS MOCK-UP OF EXTERIOR FINISHES & STONE VENEER MORTAR FOR OWNER/ARCHITECT APPROVAL.
 - PROVIDE SHOP DRAWINGS & MATERIAL SAMPLES W/COLOR AND FINISHES FOR ALL STONE WORK & WOOD WORK, BUT NOT LIMITED TO.
 - SEE INTERIOR ELEVATIONS FOR INFORMATION ON INTERIOR FINISHES & LAYOUT, INCLUDING SPECIALTY CEILING (DO NOT USE BUILDING SECTIONS FOR INTERIOR INFORMATION).



1 PROPOSED WALL SECTION @ MASTER BEDROOM EAST/WEST DOUBLE WALL
SCALE: 1" = 1'-0"



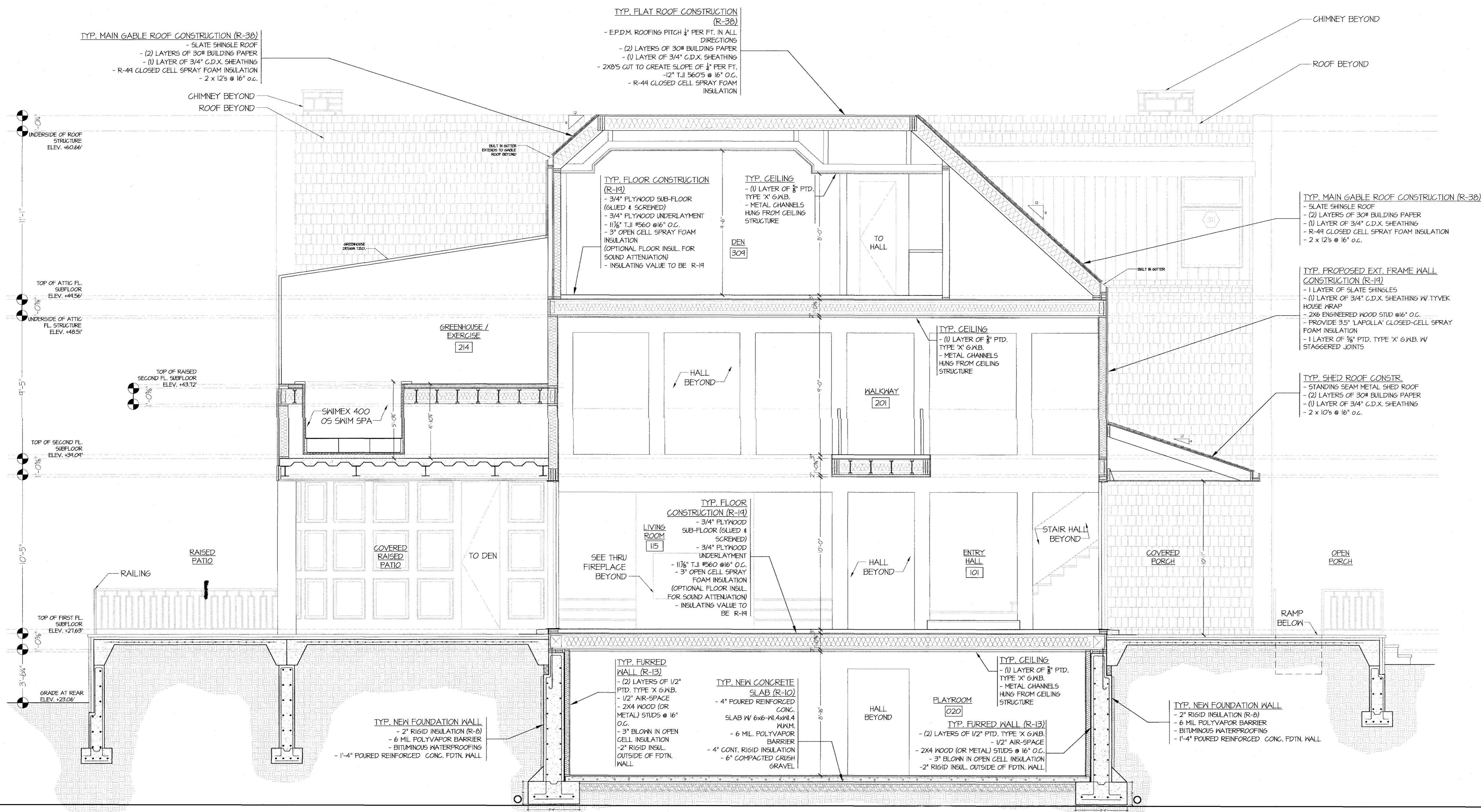
2 PROPOSED WALL SECTION @ MASTER BEDROOM NORTH WALL
SCALE: 1" = 1'-0"

DRAWING TITLE
PROPOSED WALL SECTIONS

PROJECT
DANA RESIDENCE
T2 BRIGHTON AVENUE
DEAL, NJ 07123

REVISION
BY: [Signature]
DATE: 09/20/2020

DATE: 09/20/2020



PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"

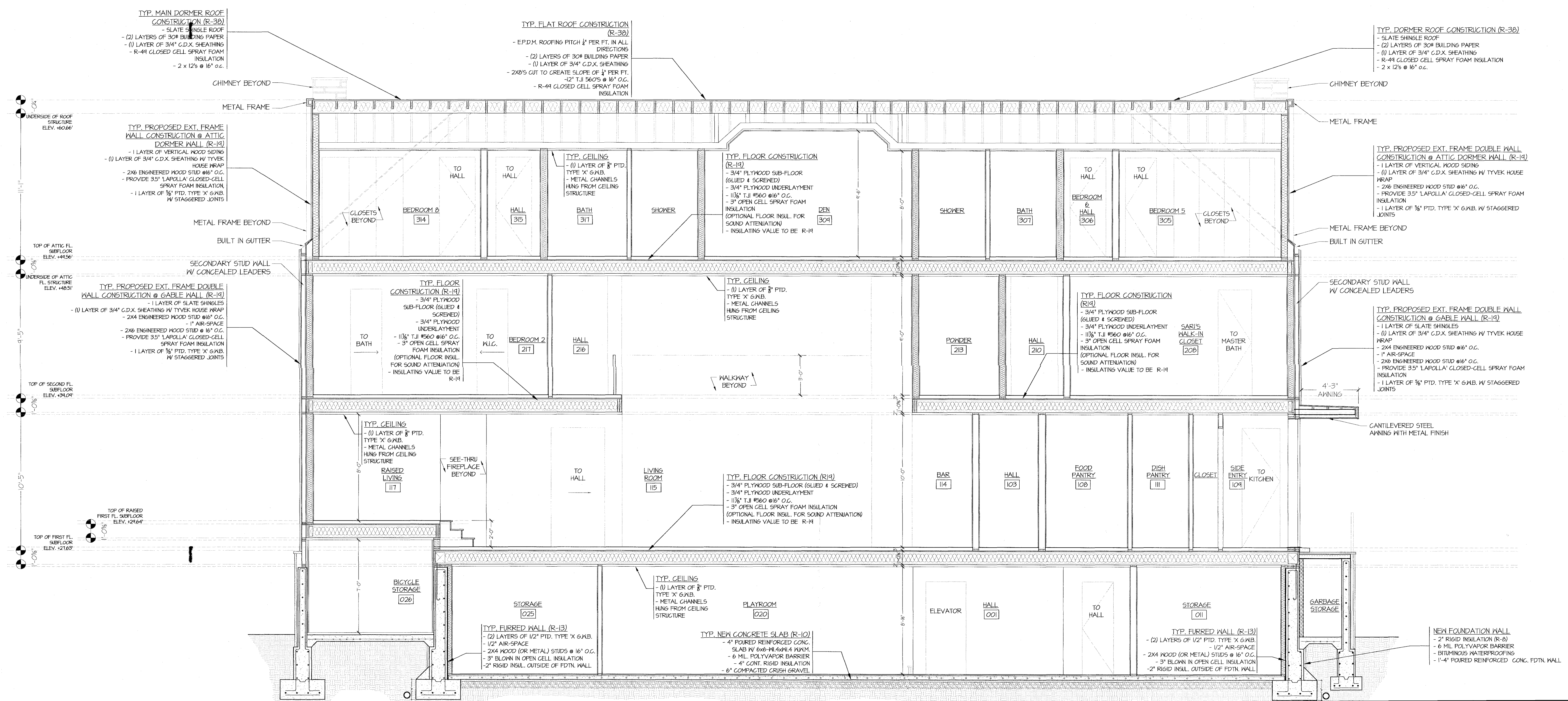
DRAWING TITLE
PROPOSED BUILDING SECTION
SCALE
1/4" = 1'-0"
DRAWN BY
M.S.

PROJECT
DANA RESIDENCE
12 BRIGHTON AVENUE
DEAL, NJ 07123

REVISION
PLANNING BOARD
06/20/2021
DATE
06/20/2021

DATE
06/20/2021

- NOTES:**
- ALL CEILINGS TO HAVE 5/8" TYPE 'X' GNB.
 - PROVIDE SIMPSON HOLDDOWNS AT ALL BUILDING CORNERS.
 - PROVIDE SIMPSON METAL STRAPPIERS AT 16" O.C. THROUGHOUT.
 - PROVIDE HURRICANE STRAPS @ ROOF RAFTERS AT 16" O.C. AS REQUIRED BY SIMPSON STRONG TIE MDL-H2.5A.
 - ALL ELEVATED SURFACES LOCATED GREATER THAN 30" ABOVE GRADE OR FINISH FLOOR AREA SHALL HAVE RAILINGS/GUARDS AT A MINIMUM OF 36" HIGH.
 - ALL RAILINGS TO BE 3'-0" A.F.F. ALL BALUSTERS TO BE SPACED MIN. 4" CENTERLINE OF EACH OTHER, SO THAT NO 4" DIAMETER BALL CANNOT PASS THROUGH.
 - ALL BEDROOMS TO HAVE EGRESS WINDOWS.
 - PROVIDE WATERLINE FOR SPRINKLERS FOR FRONT PLANTING & REAR PLANTING AREAS.
 - PROVIDE GAS LINE FOR FIREPLACE & BBQ.
 - DAMP PROOF CELLAR WALLS AS REQUIRED.
 - ALL CELLAR & POOL HOUSE G.A.B. TO BE PURPLE XP.
 - MECHANICAL ROOMS: ALL WALLS TO BE (2) HOUR FIRE RATED & CEILING/FLOORS TO BE (1) HOUR FIRE RATED, DOORS TO BE (1 1/2) HOUR FIRE RATED SELF CLOSING (LABEL 'B' P.P.S.C.).
 - NO STORAGE OF ANY KIND IS PERMITTED WITHIN THE MECHANICAL/BOILER ROOM.
 - DROP DOWN WEATHER STRIPPING @ ALL MECH. ROOM DOORS.
 - ALL ACCESS PANELS/DOORS TO BE FIRE RATED TO ALL APPLICABLE NEW JERSEY STATE CODES & INSULATED.
 - PROVIDE SHEEP VAC. @ ALL KITCHENS.
 - PROVIDE PRICE FOR 10" O.D. PVC LAUNDRY CHUTE.
 - ALL BATHROOM SHOWER DRAINS TO BE 3" DRAINS.
 - PROVIDE SOUND SENSE LV-M ON ALL PIPES.
 - ALL SHOWERS TO RECEIVE NICHES, SEE INTERIOR DESIGNER DRAWINGS FOR SIZELIGATION.
 - PROVIDE R-H SOUND ATTENUATION INSULATION BETWEEN ALL FLOORS.
 - ALL RIM JOIST TO RECEIVE CLOSED CELL SPRAY ON FOAM INSULATION.
 - PROVIDE SOUND ATTENUATION BLANKETS IN ALL WALLS @ HALLS, BATHS, POWDER ROOMS, KITCHENS, MECHANICAL ROOMS, & STAIR ROOMS.
 - ALL INSULATION TO BE OPEN OR CLOSED CELL INSULATION AS INDICATED.
 - PROVIDE 30# BUILDING FELT OR ROBIN PAPER BELOW ALL WOOD FLOORS.
 - ALL INTERIOR STAIRS TO BE 1/2" QUARTERED SAWN WHITE RIFT OAK TREADS & RISERS.
 - PROVIDE APPROPRIATE SADDLES AS REQUIRED; NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS (i.e. STONE, WOOD, ETC.)
 - ALL FLASHING TO BE ALUMINUM (TYP).
 - ALL LEADERS & CONDUCTOR HEADS TO BE ALUMINUM.
 - G.G. TO PROVIDE AS MANY GUTTERS LEADERS & CONDUCTOR HEADS AS REQUIRED TO PROPERLY DRAIN THE BUILDING (i.e. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS); ANY EXTRA REQUIRED G.C. SHALL INFORM ARCHITECT.
 - G.G. TO PROVIDE ALL CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE; NOT LIMITED TO WHAT IS SHOWN ALL CRICKETS TO BE PAC-CLAF STANDING SEAM ALUMINUM.
 - PROVIDE ICE SHIELD ON SOLID SHEATHING - 5'-0" @ EAVES/PERIMETER.
 - PROVIDE LIGHTING PROTECTION THROUGH-OUT ROOF AS REQUIRED.
 - ALL PITCH TO BE A MINIMUM OF 1/4" PER FOOT.
 - ALL AREAS WITH EP.D.M. ROOFINGS TO BE OVER 2x6'S CUT FROM 0' TO 1 1/4" TO FORM SLOPE.
 - PROVIDE ALUMINUM GAP FLASHING AS REQ'D.
 - PROVIDE GAP FLASHING ON THE FOLLOWING (BUT NOT LIMITED TO):
 - DECORATIVE CUSTOM WOOD PERGOLA LINTELS, RAFTERS, & FURLINS
 - DECORATIVE CUSTOM COLUMNS
 - SCUFFERS & CONDUCTOR HEADS
 - ALL MASONRY TIES & ANCHORS TO BE STAINLESS STEEL (NON-CORROSIVE); AT ALL CORNERS USE EXTRA TIES WHEN POSSIBLE.
 - ALL MORTAR @ STONE TO BE NON-STAINING.
 - ALL VENEER STONE TO BE 2" CAST STONE U.O.N.
 - ALL EXTERIOR CURBS TO BE CAST STONE U.O.N.
 - ALL EXTERIOR TREADS TO BE STONE SLAB.
 - PROVIDE VARIOUS MOCK-UP OF EXTERIOR FINISHES & STONE VENEER W/MORTAR FOR OWNER/ARCHITECT APPROVAL.
 - PROVIDE SHOP DRAWINGS & MATERIAL SAMPLES W/COLOR AND FINISHES FOR ALL STONE WORK & WOOD WORK, BUT NOT LIMITED TO.
 - SEE INTERIOR ELEVATIONS FOR INFORMATION ON INTERIOR FINISHES & LAYOUT, INCLUDING SPECIALTY CEILINGS (DO NOT USE BUILDING SECTIONS FOR INTERIOR INFORMATION).



DRAWING TITLE
 PROPOSED BUILDING SECTION
 SCALE
 1/4" = 1'-0"
 DRAWN BY
 M.S.

PROJECT
 DANA RESIDENCE
 T2 BRIGHTON AVENUE
 DEAL, NJ 07723

PROPOSED BUILDING SECTION
 SCALE: 1/4" = 1'-0"

REVISION
 PLANNING BOARD
 PLANNING BOARD
 DATE
 06/20/2022
 06/20/2022

[Signature]

- NOTES:**
- ALL CEILINGS TO HAVE 5/8" TYPE 'X' GNB.
 - PROVIDE SIMPSON HOLDDOWNS AT ALL BUILDING CORNERS.
 - PROVIDE SIMPSON METAL STRAPPING AT 16" O.C. THROUGHOUT.
 - PROVIDE HURRICANE STRAPS @ ROOF RAFTERS AT 16" O.C. AS REQUIRED BY SIMPSON STRONG TIE HD-H25A.
 - ALL ELEVATED SURFACES LOCATED GREATER THAN 30" ABOVE GRADE OR FINISH FLOOR AREA SHALL HAVE RAILINGS/GUARDS AT A MINIMUM OF 36" HIGH.
 - ALL RAILINGS TO BE 5'-0" AFF. ALL BALUSTERS TO BE SPACED MIN. 4" CENTERLINE OF EACH OTHER, SO THAT NO 4" DIAMETER BALL CANNOT PASS THROUGH.
 - ALL BEDROOMS TO HAVE EGRESS WINDOWS.
 - PROVIDE WATERLINE FOR SPRINKLERS FOR FRONT PLANTING & REAR PLANTING AREAS.
 - PROVIDE GAS LINE FOR FIREPLACE & BBQ.
 - DAMP PROOF CELLAR WALLS AS REQUIRED.
 - ALL CELLAR & POOL HOUSE G.N.B. TO BE PURPLE XP.
 - MECHANICAL ROOMS: ALL WALLS TO BE (2) HOUR FIRE RATED & CEILING/FLOORS TO BE (1) HOUR FIRE RATED. DOORS TO BE (1 1/2) HOUR FIRE RATED SELF CLOSING (LABEL 'B' P.F.S.G.).
 - NO STORAGE OF ANY KIND IS PERMITTED WITHIN THE MECHANICAL/BOILER ROOM.
 - DROP DOWN WEATHER STRIPPING @ ALL MECH. ROOM DOORS.
 - ALL ACCESS PANELS/DOORS TO BE FIRE RATED TO ALL APPLICABLE NEW JERSEY STATE CODES & INSULATED.
 - PROVIDE SWEEP VAC. @ ALL KITCHENS.
 - PROVIDE PRICE FOR 10' O.D. PVC LAUNDRY CHUTE.
 - ALL BATHROOM SHOWER DRAINS TO BE 3" DRAINS.
 - PROVIDE SOUND SENSE LV-M ON ALL PIPES.
 - ALL SHOWERS TO RECEIVE NICHES. SEE INTERIOR DESIGNER DRAWINGS FOR SIZE/LOCATION.
 - PROVIDE R-19 SOUND ATTENUATION INSULATION BETWEEN ALL FLOORS.
 - ALL RIM JOIST TO RECEIVE CLOSED CELL SPRAY ON FOAM INSULATION.
 - PROVIDE SOUND ATTENUATION BLANKETS IN ALL WALLS @ HALLS, BATHS, POWDER ROOMS, KITCHENS, MECHANICAL ROOMS, & STAIR ROOMS.
 - ALL INSULATION TO BE OPEN OR CLOSED CELL INSULATION AS INDICATED.
 - PROVIDE 30# BUILDING FELT OR ROSIN PAPER BELOW ALL WOOD FLOORS.
 - ALL INTERIOR STAIRS TO BE 1/2" QUARTERED SAWN WHITE RIFT OAK TREADS & RISERS.
 - PROVIDE APPROPRIATE SADDLES AS REQUIRED. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS (I.E. STONE, WOOD, ETC.)
 - ALL FLASHING TO BE ALUMINUM (TYP.)
 - ALL LEADERS & CONDUCTOR HEADS TO BE ALUMINUM.
 - G.G. TO PROVIDE AS MANY GUTTERS, LEADERS, & CONDUCTOR HEADS AS REQUIRED TO PROPERLY DRAIN THE BUILDING (I.E. NOT LIMITED TO WHAT IS SHOWN ON DRAWINGS); ANY EXTRA REQUIRED G.G. SHALL INFORM ARCHITECT.
 - G.G. TO PROVIDE ALL CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE. NOT LIMITED TO WHAT IS SHOWN. ALL CRICKETS TO BE FRAG-CLAF STANDING SEAM ALUMINUM.
 - PROVIDE ICE SHIELD ON SOLID SHEATHING - 5'-0" @ EAVES/PERIMETER.
 - PROVIDE LIGHTING PROTECTION THROUGH-OUT ROOF AS REQUIRED.
 - ALL PITCH TO BE A MINIMUM OF 1/4" PER FOOT.
 - ALL AREAS WITH EPDM ROOFING TO BE OVER 2X8'S CUT FROM 0" TO 1/14" TO FORM SLOPE.
 - PROVIDE ALUMINUM GAP FLASHING AS REQ'D.
 - PROVIDE GAP FLASHING ON THE FOLLOWING (BUT NOT LIMITED TO):
 - DECORATIVE CUSTOM WOOD FERROLA LINTELS, RAFTERS, & PURLINS
 - DECORATIVE CUSTOM COILING
 - SUTTERS & CONDUCTOR HEADS
 - ALL MASONRY TIES & ANCHORS TO BE STAINLESS STEEL (NON-CORROSIVE); AT ALL CORNERS USE EXTRA TIES WHEN POSSIBLE.
 - ALL MORTAR @ STONE TO BE NON-STAINING.
 - ALL VENEER STONE TO BE 2" CAST STONE U.O.N.
 - ALL EXTERIOR CURBS TO BE CAST STONE U.O.N.
 - ALL EXTERIOR TREADS TO BE STONE SLAB.
 - PROVIDE VARIOUS WOOD-KIP OF EXTERIOR FINISHES & STONE VENEER W/MORTAR FOR OWNER/ARCHITECT APPROVAL.
 - PROVIDE SHOP DRAWINGS & MATERIAL SAMPLES W/COLOR AND FINISHES FOR ALL STONE WORK & WOOD WORK, BUT NOT LIMITED TO SEE INTERIOR ELEVATIONS FOR INFORMATION ON INTERIOR FINISHES & LAYOUT. INCLUDING SPECIALTY CEILINGS (DO NOT USE BUILDING SECTIONS FOR INTERIOR INFORMATION).